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Item No. 6.1	Classification: Open	Date: 12 June 2024	Meeting Name: Planning Committee (Major Applications) A
Report title:	Development Management planning application: Application 23/AP/0543 for: Full Planning Permission Address: Block C, Former Mulberry Business Park Quebec Way London SE16 Proposal: Construction of a Part 13 and Part 14 storey building (over basement) with a maximum height of 51m AOD to provide 135 co-living/shared living rooms with associated internal and external amenity space (Sui generis) together with ground and first floor commercial units (Class E), with ancillary refuse/cycle stores, servicing areas, landscaping, associated public realm works and provision of 2 disabled car parking spaces.		
Ward or groups affected:	Surrey Docks		
From:	Director of Planning and Growth		
Application Start Date	3 May 2023	Application Expiry Date	2 June 2023
Earliest Decision Date	14 July 2023	Extension of Time End Date	31 July 2024

RECOMMENDATIONS

1. That full planning permission be granted for 23/AP/0543, subject to the recommended conditions, referral to the Mayor of London and the applicant entering into a satisfactory legal agreement.
2. That in the event that the legal agreement is not been entered into by 31 July 2024 (or a later date as agreed by officers) the Director of planning and growth be authorised to refuse planning permission for 23/AP/0543, if appropriate, for the reasons set out in paragraph 348 of this report.
3. That the planning committee in making their decision has due regard to the potential equalities impacts that are outlined in this report.

EXECUTIVE SUMMARY

4. The application subject of this report relates to a site known as the Former Mulberry Business Park located on the corner of Quebec Way and Canada Street which has subsequently been redeveloped for mixed use purposes under planning permission 13/AP/1429.
5. Planning permission 13/AP/1429 granted permission for

Redevelopment of the former Mulberry Business park to provide buildings of between 4 and 9 storeys (maximum height 42.85m AOD), comprising 770 student bedrooms with related living/kitchen and communal spaces (sui generis); 33 affordable residential units (Class C3); 610sqm retail uses (Classes A1, A2,A3); 322sqm health centre (Class D1); 75sqm area of retail (Classes A1, A2, A3) or alternate non-residential institutional use (Class D1); 4,490sqm offices (Class B1); associated car parking, cycle parking and landscaped public realm; new vehicular and pedestrian access/egress and associated works.

The planning permission has been mostly implemented on site. The student accommodation in Blocks A and B is constructed and occupied, the affordable housing in Block D is also occupied and the retail uses at ground floor level are currently being advertised.

Block C has been partially constructed (basement and podium shell). This block as not been fully constructed as the applicant no longer wishes to build the office block (for reasons explained in more detail in the later sections of this report).

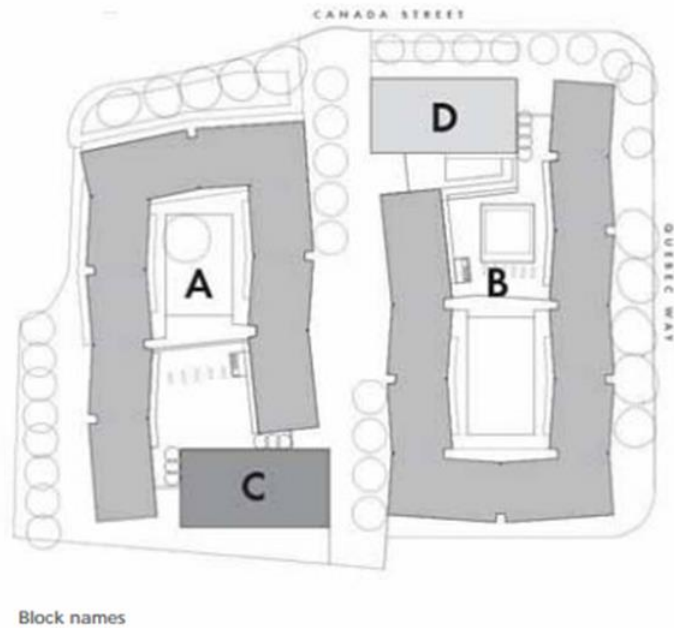


Image above: Plan to identify relevant blocks within the site as approved under 13/AP/1429.

6. This application relates specifically to a development on the land identified as Block C.
7. The application proposes to erect a building of 51.4m AOD to accommodate 135 co-living apartments together with associated co-living amenity spaces. The ground floor will also provide a double height space for a co-working café accessed from the adjacent street (Mulberry Walk). The new building will have the same footprint as the Block C and will be served by the existing basement below which is shared with Block A. The proposed new building will be 8.6m higher than the previous proposal.
8. The residential proposal accords with the range of land uses identified within the site allocation. The scheme will deliver a fast track policy compliant 40% Payment in Lieu (PiL) towards affordable housing and will make a valuable contribution towards private housing provision in this part of the borough.
9. The proposal will complete the development on the wider Mulberry Business park site providing public realm along the Printworks Street frontage as well as a pocket park located between Blocks B and C.
10. Whilst the main public concerns regarding the height, scale and design of the building are noted, the principle of a tall building on this site has been established by the extant consent. The increase in height of 8.6m is considered to be acceptable in this location given the existing and emerging context. The detailed design will result in an exemplary building which will make a positive contribution to the character of the area.

11. The proposal responds positively to transport and sustainability policies and there would be no significant harm to neighbour amenity.

PLANNING SUMMARY TABLES

12. **Purpose Built Co-living Residential**

Size (sqm NIA)	Total
Type 1 - 21.3 sqm	50
Type 1a – 22. 3 sqm	16
Type 2 – 23.4 sqm	23
Type 2a – 23.4 sqm	23
Type 3 36 sqm	12
Type 4 – 29 sqm	11
Total	135
Total communal amenity space	717.5 sqm
13. Total external communal space	192 sqm

14. **Commercial**

Use class and description	Existing GIA	Proposed GIA	Change +/-
E [a] to (f) (Retail/services/dining)	0	285	+285
Employment	Existing no.*	Proposed no.	Change +/-
Direct Operational jobs (FTE) **	0	5 FTE	+ 5
Indirect Jobs Potential for 20-30 work from home jobs to be supported (not directly created) through residents who work from home within the amenity spaces. Potential for a further 20-30 jobs to be supported (not directly created) through the corner café / co-workspace.			

15. **Carbon Savings and Trees**

Criterion	Details
CO2 savings	58% improvement on Part L of Building Regs 2021

Trees lost	0
Trees gained	17 (11 in the public realm and 6 on the roof terrace).

16. **Greening, Drainage and Sustainable Transport Infrastructure**

Criterion	Existing	Proposed	Change +/-
Urban Greening Factor	0	0.42	+ 0.42
Greenfield Run Off Rate		84 l/s*	
Green/Brown Roof Coverage	0	50 sqm	+ 50 sqm
Electric Vehicle Charging Points	0	2	+2
Cycle parking spaces	0	145	+ 145

17. **CIL and Section 106 (or Unilateral Undertaking)**

Criterion	Total Contribution
CIL (estimated)	(£1,052,537.19 pre-relief)
MCIL (estimated)	(£409,476.36 pre-relief)
Section 106 Contribution	As per the 'Planning obligations' section of this report

BACKGROUND INFORMATION

The Co-Living housing model

18. Large-scale purpose-built shared living (LSPBSL), also referred to as co living, is a type of non-self-contained housing that is generally made up of at least 50 private individual rooms, communal spaces and facilities.

Co-living differs from other housing types, including the following:

- Self-contained housing (use class C3), because there is an emphasis on communal living. Large-scale shared dining, recreation and (sometimes) workspaces are provided to offset private individual units that are smaller than the minimum internal space standards set out in London and Southwark Plan Policies;
- HMOs, due to the size of the developments and the extent of communal spaces and facilities.
- Hotels (use class C1) and hostels (sui generis), due to the requirement for minimum tenancies of no less than three months.
- Residential institutions (use class C2), as there is no significant element of care or training provided.

- Student accommodation, as this has a focus on student needs, links with universities and would only be occupied by students.
19. Co-living generally provides accommodation for single-person households who cannot, or choose not to, live in self-contained homes or HMOs. This accommodation type may be used on a transitional basis until residents find suitable longer-term housing. Whilst co-living provides an additional housing option for some people, due to the unique offer of this accommodation type it does not meet minimum housing standards and is therefore not considered to meet the ongoing needs of households in London.

Recognising however, that co-living contributes an element of housing choice, it is counted towards housing supply on a ratio of 1.8:1 basis as per London Plan Policy H1. Furthermore, due to the specific design and nature of occupation co-living cannot be considered an affordable housing product. It does not provide accommodation suitable for households in need of genuinely affordable housing, including families. Consequently co-living schemes must either provide onsite conventional C3 affordable dwellings or a Payment in Lieu (PiL).

Site details

Location and description

20. The application Site, Block C, forms part of a wider site known as the former Mulberry Business Park (1.4-hectare parcel of land) located on the corner of Quebec Way and Canada Street. The wider site obtained planning permission in 2013 for a mixed-use development comprising student accommodation, housing and an office block (Block C). The 2013 permission has been implemented and all the surrounding blocks (A, B and D on the plan below) are now complete and part occupied, leaving Block C to be fully built out. The basement below Block C has been constructed and the podium frame above the basement has been partly constructed.



- 1 Canada Water Underground and Overground Station (7 minute walk)
- 2 Canada Water (including restaurants, cafes, shops) (7 minute walk)
- 3 Surrey Quays Shopping Centre (7 minute walk)
- 4 Stave Hill Ecological Park (7 minute walk)
- 5 Rotherhithe Overground Station (9 minute Walk)
- 6 Surrey Quays Overground Station (13 minute walk)

Image above: Application site shown in red with wider Mulberry Site shown in blue.



Image (above): Proposed location plan, showing the site edged in red in the context of the wider Former Mulberry site.

21. The application Site, Block C, is surrounded by the recently completed student housing blocks to the west (Block A) and to the north (Block B), the former Printworks to the southeast and an existing warehouse building on the Artinvest site to the southwest. The warehouse building on the adjacent site is used for a variety of commercial temporary uses which includes Southwark Construction Skills Centre.
22. Further afield to the northwest are residential buildings of between two and ten storeys and to the northeast Alfred Salter School.



Image (above): Aerial view of the existing site taken from the junction of Printworks Street and Quebec Way



Image (above): Right hand side image shows the partially constructed Block C podium with Block A student accommodation behind. Left hand image shows the view of the site looking down Printworks Street from Quebec Way.



Image (left): View of partially constructed Block C podium with former Printworks building in the background.

Surrounding Development Sites

23. The site is bound by the British Land Canada Water Masterplan site to the east. Planning Permission was granted to British Land in May 2020 for the Masterplan scheme, which envisages the complete transformation of the Canada Water core area, creating a major new town centre with a diverse mix of jobs, shops, homes, leisure activities and cultural facilities. The Masterplan scheme is subdivided into a series of Zones, A to M, each containing one or more buildings and open spaces. As shown on the image below this site is located closest to Zones H and L of the Masterplan site.



Image above:

Proposed site shown in the context of the emerging British Land Masterplan.

24. Zone H of the Masterplan site has the benefit of Reserved Matters Approval for commercial redevelopment under reference 21/AP/3338. It should be noted however that a recent Reserved Matters Application has been submitted for a mixed office and cultural use application for Zone H under ref 24/AP/0350.
25. Zone L of the Masterplan site has the benefit of Reserved Matters Approval for a residential led development under reference 21/AP/3775.
26. The adjacent AIRE site has planning permission for commercial led redevelopment under reference 21/AP/2655.

Designations

27. The following policy, socioeconomic and environmental designations apply to the application site:
 - Canada Water Opportunity Area;
 - Canada Water Action Area;
 - Canada Water Major Town Centre;
 - Strategic Cultural Area;
 - The Rotherhithe Area Vision;
 - Southwark Plan Site Allocation NSP80;
 - Canada Water Strategic Heating Area;
 - Flood Zone 2;
 - Air Quality Management Area;

- Community Infrastructure Levy Charging Zone 2; and
- Hot Food Takeaway Primary School Exclusion Zone.

28. In respect of heritage designations, the application site contains no listed structures and is not within a Conservation Area. The nearest Conservation Area, 'St Marys Rotherhithe', is some distance from the application site being circa 700 metres away to the northwest at its closest point.

29. Within 750 metres of the site are the following listed buildings:

- The turntable and machinery of the former swing road bridge [Grade II];
- Former Dock Manager's Office and 1-14 Dock Offices [Grade II];
- Swedish Seamen's Mission [Grade II] at 120 Lower Road; and
- London Hydraulic Power Company Former Pumping Station [Grade II].

30. Circa 500 metres to the west is Southwark Park, a registered Park and Garden. The designated Open Water Spaces of Canada Water Basin and Greenland Dock are both nearby.

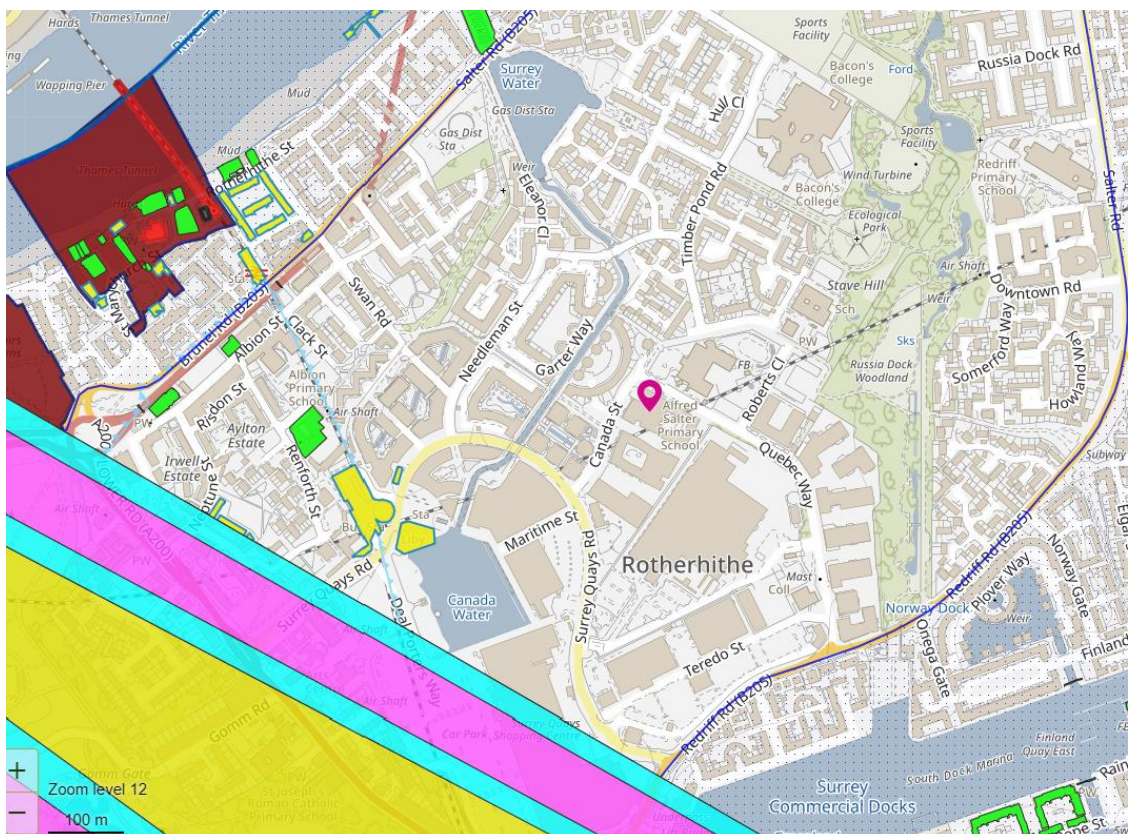


Image above:

Map to show conservation areas (brown) and listed structures (green)

31. The site is not within any of the London Strategic Viewing Corridors or the Borough Views defined by the New Southwark Plan. The site is outside an Archaeological Priority Zone (APZ).

32. The site has a high PTAL rating (6a), it is well served by Canada Water Underground and Bus Stations with Surrey Quays and Rotherhithe Station also within close proximity.
33. The primary road network that connects the peninsula is formed by the A200 (Jamaica Road and Lower Road), and the A101 which includes the Rotherhithe Tunnel. The B205 is formed in part by Redriff Road and in part by Salter Road, and it provides the secondary road network loop around the peninsula.

The B205 links Jamaica Road in the north east corner of Southwark Park with Lower Street at Surrey Quays Station. Surrey Quays Road forms an important secondary vehicular connection joining Lower Road with Redriff Road, past Canada Water Station. It provides a key service route with access to the existing Surrey Quays Shopping Centre service area.

34. Canada Street is a tertiary street however (unlike other local tertiary streets which are predominantly cul-de-sacs) it does link to Quebec Way and so provides an alternative connection to Redriff Road and the B205.
35. The site is within the Rotherhithe and Surrey Docks CPZ.

Details of proposal

36. The proposal seeks to create a mixed-use building comprising a publicly accessible co-working cafe space at ground and first floor level which marks the corner of Printworks Street and Mulberry Walk. A separate co-living entrance fronts Printworks Street, with co-living rooms and associated amenity spaces on the upper floors.
37. The part 13/part 15 storey building (max height 51.4m AOD) would provide
 - 135 no. Co-living private rooms, with associated internal and external communal amenity areas, operational and back of house spaces.
 - The proposal includes a number of different room typologies to meet varied occupiers requirements, with sizes ranging from 21 sqm to 23 sqm, along with 29 sqm and 37 sqm accessible units
 - 717m² NIA of co-living(Sui Generis) at ground and upper levels (flexible workspaces; lounge areas, gym; shared kitchen and dining facilities)
 - 225m² NIA commercial co-working cafe (Class E) at ground and first floor
 - External roof terrace on the 13th floor (192 sqm/1.4m per room)
38. The proposal would result the final block of the Former Mulberry site being developed. The new building would front onto the public realm already available within the site (Mulberry Walk) and would also provide a new pocket park and complete the public realm forming the northeast side of Printworks Street by providing additional footpath and landscaping. In addition this proposal makes available the land required to deliver Printworks Street as a two way road (dependent on other adjacent landowners delivering their sections).

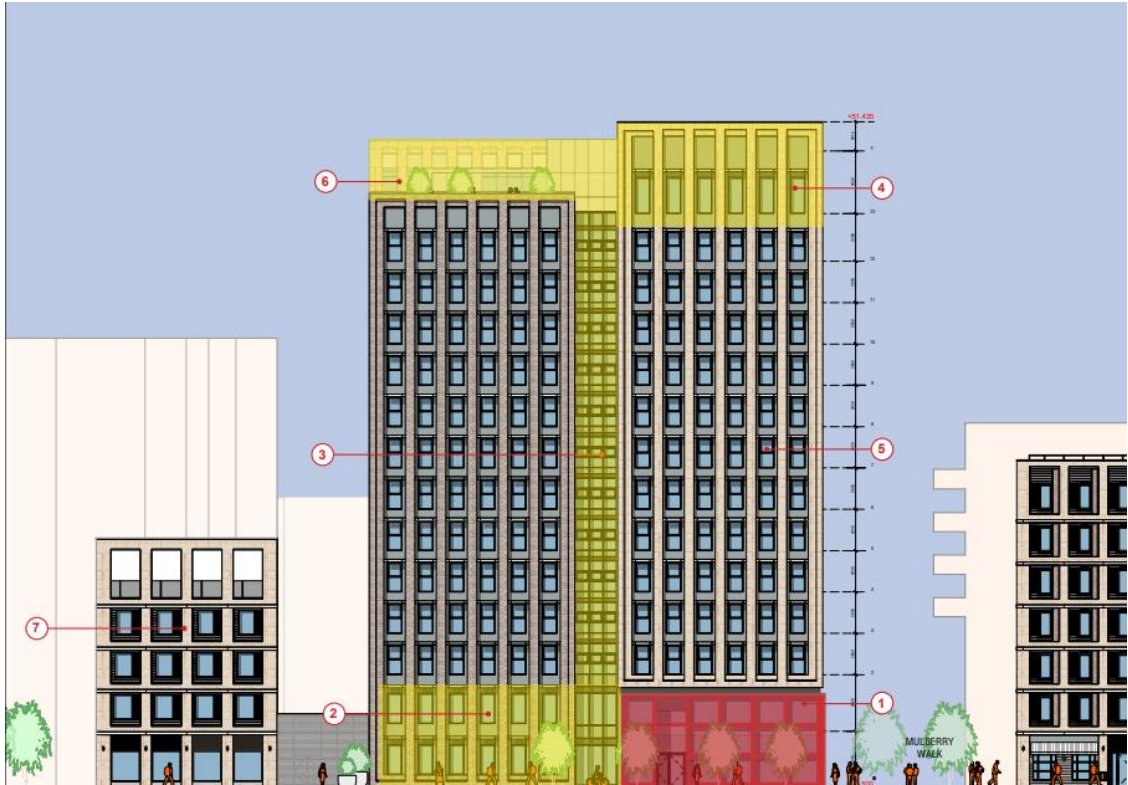


Image above: Printworks Street elevation showing proposed uses within the building

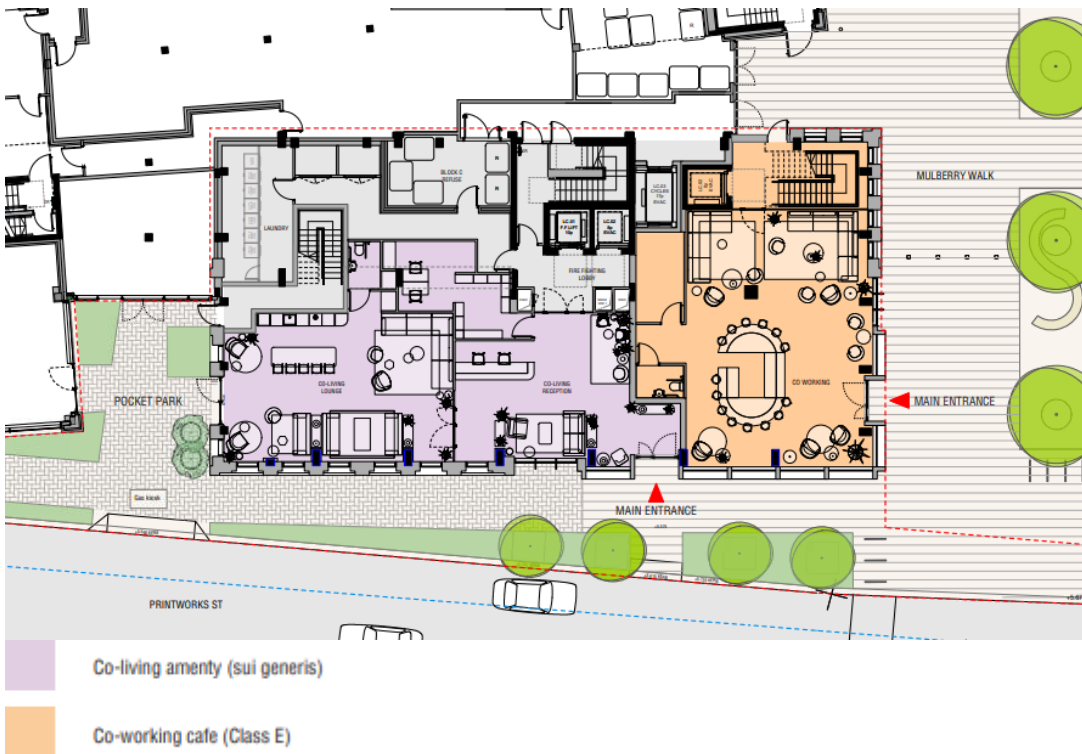


Image above: Proposed ground floor layout showing public realm and public café use

Planning history of the application site

39. Appendix 3 sets out in detail the full planning history for the site as well as details of relevant applications on adjoining or nearby sites.
40. Of particular relevance to this application is planning permission 13/AP/1429 which granted consent for

Redevelopment of the former Mulberry Business park to provide buildings of between 4 and 9 storeys (maximum height 42.85m AOD), comprising 770 student bedrooms with related living/kitchen and communal spaces (sui generis); 33 affordable residential units (Class C3); 610sqm retail uses (Classes A1, A2, A3); 322sqm health centre (Class D1); 75sqm area of retail (Classes A1, A2, A3) or alternate non-residential institutional use (Class D1); 4,490sqm offices (Class B1); associated car parking, cycle parking and landscaped public realm; new vehicular and pedestrian access/egress and associated works.

41. This application proposes a slightly taller building on the same footprint at Block C and a change in land use from office to co-living. The images below show a comparison in scale of the extant permission for Block C and the current proposal.

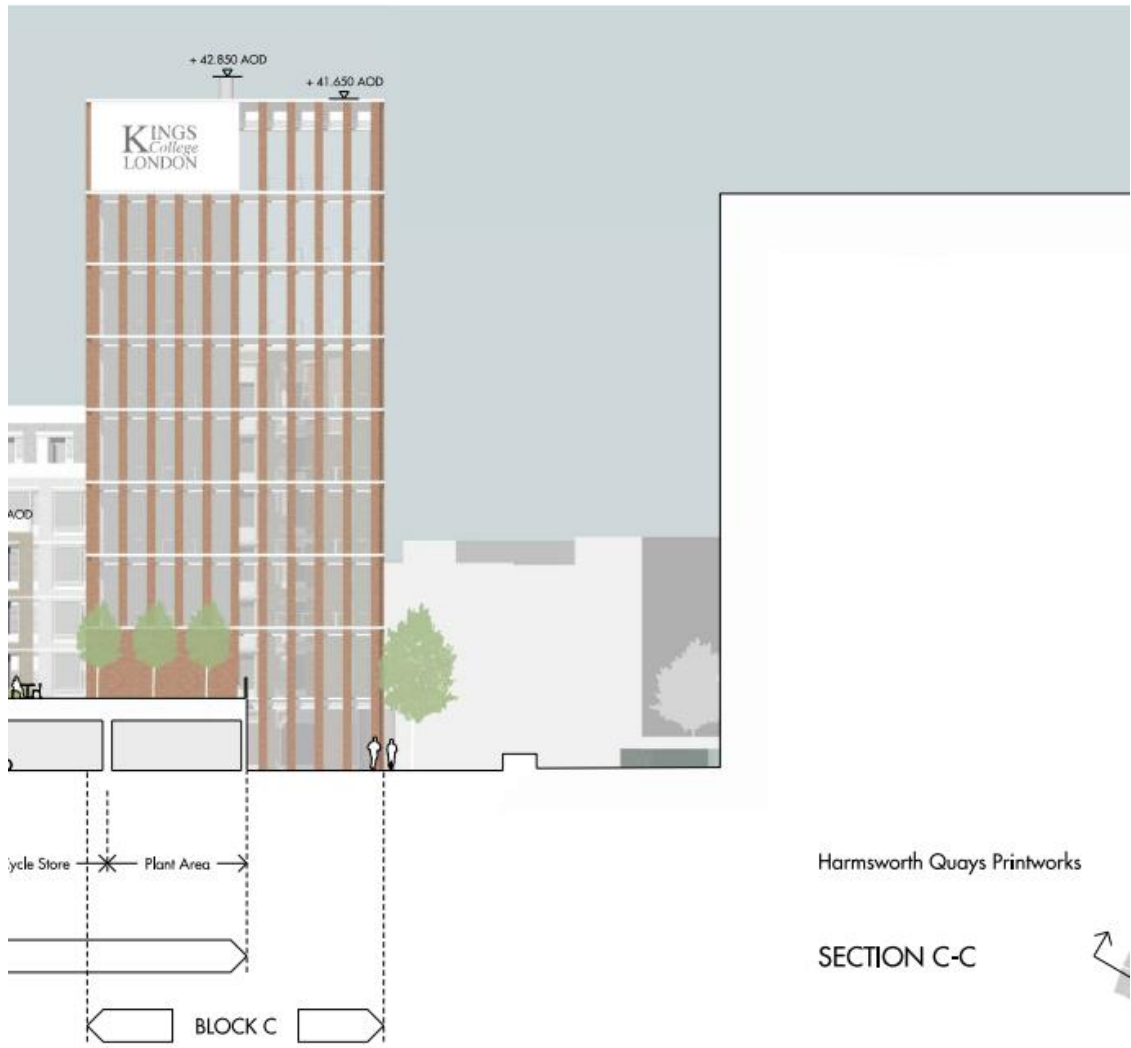


Image above: Section through Printworks Street to show the extant permission for Block C – maximum height 42.8 AOD

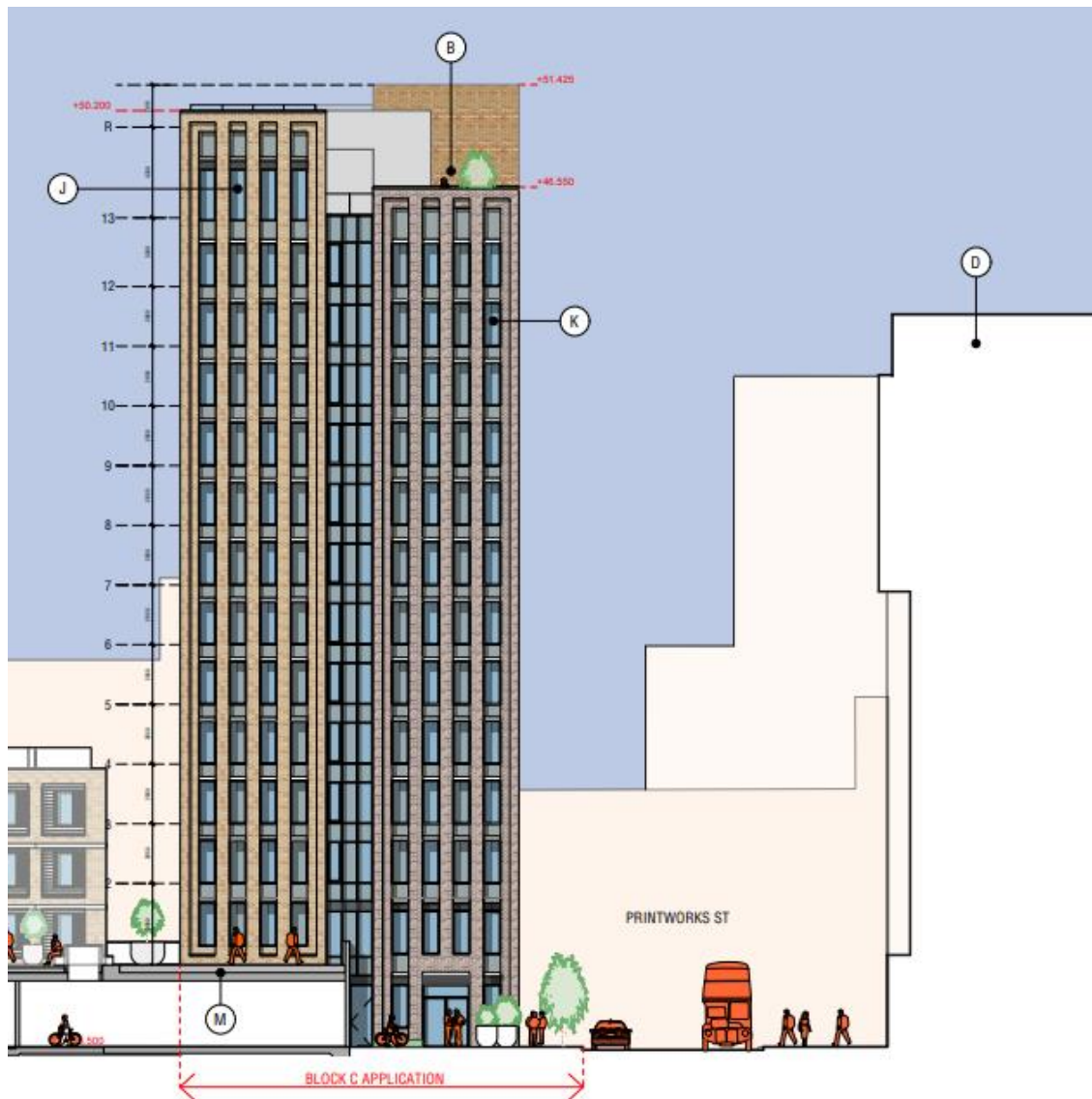


Image above: Section through Printworks Street to show the proposed permission for Block C – maximum height 51.4m AOD

Pre-application engagement and mid-application amendments

Pre-application engagement

42. This application was submitted following detailed pre-application discussions with officers as well as public engagement. As part of these discussions, various land uses were considered. Specifically a hotel use which was discounted as it would not meet the site allocation policy and would not contribute to the Boroughs housing targets, onsite conventional C3 housing which was not considered to be appropriate for this plot due to the amenity constraints on this compact site, purpose built student housing and co living options were also discussed. The pre application discussions led to a reduction in the massing of the building, additional public realm and public uses within the building to activate the street frontage.

43. During the assessment of this application additional details were provided to demonstrate that the proposal would not prejudice the future delivery of Printworks Street as a two way street. Minor amendments were made to the façade design and additional details were also provided in respect of viability, daylight, sunlight, flood risk and wind assessments.

KEY ISSUES FOR CONSIDERATION

Summary of main issues

44. The main issues to be considered in respect of this application are:
- Consultation responses from members of the public and local groups;
 - Environmental impact assessment;
 - Principle of the proposed development in terms of land use;
 - Quality of the co-living accommodation
 - Development viability;
 - Amenity impacts on nearby residential occupiers and surrounding area;
 - Design;
 - Public realm, landscaping and trees;
 - Green infrastructure, ecology and biodiversity;
 - Archaeology;
 - Transport and highways
 - Environmental matters;
 - Energy and sustainability;
 - Digital connectivity infrastructure;
 - Socio-economic impacts
 - Planning obligations and Community Infrastructure Levies;
 - Community engagement;
 - Consultation responses; and
 - Community impacts, equalities and human rights.
45. These matters are discussed in detail in the 'Assessment' section of this report.

Legal context

46. Section 38(6) of the Planning and Compulsory Purchase Act (2004) requires planning applications to be determined in accordance with the development plan, unless material considerations indicate otherwise. In this instance the development plan comprises the London Plan 2021 and Southwark Plan 2022. Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires decision-makers determining planning applications to pay special regard to the desirability of preserving listed buildings and their setting or any features of special architectural or historic interest which they possess.
47. There are also specific statutory duties in respect of the Public Sector Equalities Duty, which are highlighted in the relevant sections below and in the overall assessment at the end of the report.

Adopted planning policy

48. The statutory development plan for the borough comprises the London Plan 2021 and the Southwark Plan 2022. The National Planning Policy Framework 2023 is a material consideration but not part of the statutory development plan. A list of policies which are relevant to this application is provided at Appendix 2. Any policies which are particularly relevant to the consideration of this application are highlighted in the report.

ASSESSMENT

Consultation responses from members of the public and local groups

49. Consultation with members of the public was first conducted in May 2023. Letters were sent to local residents when the application was received, the application was advertised in the local press and site notices were displayed. In May 2024 a re-consultation was undertaken. Letters were sent specifically to people that had commented on the application to ensure that they were aware of the additional daylight information submitted.

Comments were received from 8 respondents. The table below summarises the number of representations received during this period:

Consultation: Summary table		
Total number of responses: 10		
The split of views between the respondents was:		
In objection: 8 (2 objectors wrote in twice during the time that the application was being assessed)	Neutral: 0	In support: 2

Reasons for Objections

50. Listed below are the material planning considerations raised in objection of the planning application by the consultation responses.

The proposed increase in height and mass is not compliant with adopted policies and it is not in the public interest to allow additional height	The principle of a tall building on this site has been established by the extant consent. The additional height increase of 8.6m is considered to be appropriate given the existing and emerging context. For the reasons
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	<p>set out in full in this report the proposal is considered to be of exemplary design quality and will not harm neighbouring amenity.</p>
<p>The documents presented by the developer misrepresent the real impact of the increased building height on existing residents. Specifically the daylight impacts on existing neighbouring residents have not been properly considered.</p> <p>The additional daylight assessments do not address the concerns raised.</p> <p>No assessment has been concerning the impact on the residential blocks at Water Gardens Square.</p>	<p>Given that the extant scheme can be built out it is appropriate to assess the additional impact that would be created by increasing the height of the building by 8.6m</p> <p>Additional daylight assessments were requested and submitted to ensure that all relevant existing and proposed buildings had been assessed. All relevant buildings have been considered.</p> <p>The evidence submitted demonstrates that the additional increase in height would not have a material impact on the daylight enjoyed by neighbouring properties for the reasons set out in detail in the main body of this report.</p>
<p>Information missing from the plans – it is not clear whether all residential development approved in 2013 has been delivered</p>	<p>The affordable housing and student housing accommodation has been delivered in full. The current application relates to the part of the site originally proposed for office development only.</p>
<p>Overdevelopment – the proposal is too high and there are already lots of unlet retail units in this area</p>	<p>The provision of a ground floor commercial unit will complement the co-living units above. It is appropriate to include commercial ground floor uses to provide facilities to existing and new residents as well as activate the public realm.</p>
<p>Strain on existing services – there is concern that the medical facility approved in 2013 will not be delivered.</p>	<p>The s106 for the 2013 permission secured an onsite medical facility or a payment in lieu in the event that an occupier for the medical facility could not be found. The applicant was unable to find an occupier so has made a payment in lieu. That</p>

	<p>obligation is not affected by the current proposal for Block C.</p> <p>There could be additional demand created by allowing more residents to occupy the site (within the co-living units). However, this would be mitigated by way of the necessary CIL contribution which is used to fund necessary increase in demand on infrastructure which includes healthcare facilities.</p>
<p>The proposal will put even more pressure on the local road network.</p>	<p>The development is proposed to be car free except for blue badge parking so resident trips to the site will be limited. There will be vehicle movements on the network associated with servicing and delivery but this would not be significantly greater than those associated with the extant office scheme.</p>
<p>The Planning Statement describes a new two way road which will relieve congestion to a primary school but the council should be promoting little or no traffic to the primary school, with parents encouraged to use public transport, walking and cycling instead.</p> <p>If the road is needed for access and if TfL need a new bus stand, a positive alternative would be for the 2-way road to include a bus-gate to prevent through-traffic.</p>	<p>Southwark as the Highway Authority are considering the appropriateness of a bus gate. This provision would fall outside of the scope of this application but approval of this proposals would not prejudice a future decision on a bus gate in Printworks Street.</p>
<p>The education facility should be retained. Perhaps a different college would be interested in the space available?</p>	<p>The 2013 permission was for an office not an education facility. It would remain open for any business or institution to occupy the office, it was not specifically restricted to Kings College. It is a commercial choice for the Developer to seek permission for alternative uses on the site. There is a significant quantum of office development proposed in the Canada Water town centre (adjacent</p>

	<p>AIRE and British Land proposals). It is considered that planning permissions on adjacent sites make good provision for commercial floorspace and as such the public benefit of providing additional residential accommodation is welcome.</p>
<p>Agent of change principles must be properly considered to ensure that there is no conflict between the proposed residential use and planned future commercial and cultural uses nearby.</p>	<p>For the reasons set out in relevant sections of this report it is considered that the proposal has been designed to ensure that the technical considerations such as adequate servicing, ventilation, mitigation of noise and vibration have been robustly considered. Subject to the recommended conditions in respect of soundproofing, ventilation and servicing arrangements, the development subject of this application will be attractive and usable by the intended future occupiers and there would be no conflict between the proposal and existing and future land uses in the immediate vicinity.</p> <p>It should be noted that future planning proposals for adjacent sites will need to demonstrate that adequate measures have been taken to enable the proposals to operate alongside existing uses. For example, the proposals for a cultural use at Printworks will need to demonstrate that unacceptable noise pollution will not occur. Whilst the Printworks Application is still under consideration the details submitted with the application demonstrate that adequate sound proofing can be incorporated to enable the venue to operate alongside residential uses in the vicinity. Consequently this development would not stymie the lawful operation of the venue.</p>

Letters of Support (from adjoining Land Owners)

- The proposal will be a positive contributor to the areas attraction and ongoing regeneration.
- British Land will continue to work collaboratively with Scape (and the Council) in relation to these the design and operation of varying uses coming forward as well as the proposals for Printworks Street, connectivity and the wider public realm.
- The proposal will be a positive addition to the emerging mix of town centre uses in the area and will add vibrancy to Printworks Street.
- Art invest will continue to work collaboratively with Scape to ensure the best outcomes for both projects and the wider area are achieved.

Environmental impact assessment

51. Environmental Impact Assessment is a process reserved for the types of development that by virtue of their scale or nature have the potential to generate significant environmental effects.
52. The Town and Country Planning (Environmental Impact Assessment) Regulations 2017 set out the circumstances in which development must be underpinned by an EIA. Schedule 1 of the Regulations sets out a range of development, predominantly involving industrial operations, for which an EIA is mandatory. Schedule 2 lists a range of development types for which an EIA might be required due to the potential for significant environmental impacts to arise. Schedule 3 sets out that the significance of any impact should include consideration of the characteristics of the development, the environmental sensitivity of the location and the nature of the development.
53. The range of developments covered by Schedule 2 includes 'Urban development projects' where:
 - the area of the development exceeds 1 hectare and the proposal is not dwellinghouse development; or
 - the site area exceeds 5 hectares.
54. The application site is 0.1 hectares and as such the proposal does not exceed the Schedule 2 threshold. Consideration, however, should still be given to the scale, location or nature of development, cumulative impacts and whether these or anything else are likely to give rise to environmental impacts of more than local significance.
55. It is noted that the 2013 extant consent for the wider Mulberry Business park site did not constitute EIA development.
56. This application proposes a residential scheme on a building footprint which reflects the extant 2013 permission. The proposed height would be similar to the 2013 consent and would reflect the context of its surrounding (existing and emerging context as permitted by adjacent British Land and Art invest

proposals). The development is of a scale appropriate to its urban setting and is unlikely to give rise to any significant environmental impacts. Those impacts which are identified through the various submitted technical reports and studies can be mitigated through appropriate conditions or obligations.

57. For the above reasons, an EIA is not required in respect of the proposed development.

Principle of the proposed development in terms of land use

Relevant policy designations

Overarching strategic policy objectives

58. The National Planning Policy Framework (NPPF) was updated in 2023. At the heart of the NPPF is a presumption in favour of sustainable development. The framework sets out a number of key principles, including a focus on driving and supporting sustainable economic development. Relevant paragraphs of the NPPF are considered in detail throughout this report. The NPPF also states that permission should be granted for proposals unless the adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework as a whole.
59. The Good Growth chapter of the London Plan includes GG2 “Making the Best Use of Land” and GG5 “Growing a Good Economy”, which are relevant to the proposal. To create sustainable mixed-use places that make the best use of land, objective GG2 states that those involved in planning and development must enable the development of brownfield land, particularly in opportunity areas and town centres, and prioritise sites that are well connected by public transport. It also encourages exploration of land use intensification to support additional homes and workspaces, promoting higher density development, particularly in locations that are well-connected to jobs, services, infrastructure and amenities by public transport, walking and cycling. Objective GG5 states that to conserve and enhance London’s global economic competitiveness —and ensure that economic success is shared amongst all Londoners— those involved in planning and development must, among other things:
- promote the strength and potential of the wider city region;
 - ensure that London continues to provide leadership in innovation, research, policy and ideas, supporting its role as an international incubator and centre for learning;
 - provide sufficient high-quality and affordable housing, as well as physical and social infrastructure;
 - help London’s economy to diversify; and
 - plan for sufficient employment space in the right locations to support economic development and regeneration.

Canada Water Opportunity Area

60. The site is located within the Canada Water Opportunity Area where the London Plan recognises the potential for “significant residential and employment growth” to be realised through a suitable planning framework that optimises development in conjunction with improvements to public transport accessibility. The Opportunity Area (OA) is identified within the London Plan as having an indicative employment capacity of 20,000 jobs and an indicative residential capacity of 5,000 homes.
61. London Plan Policy SD1 encourages opportunity areas to:
- optimise residential and non-residential output;
 - optimise density; and
 - contribute towards meeting (or where appropriate) exceeding the minimum guidelines for housing and/or indicative estimates for employment capacity.
62. The site is located in the Canada Water Major Town Centre, London Plan Policies SD6, SD7, SD8 and SD9 support mixed used development in town centres and seek to enhance their vitality and viability by encouraging strong, resilient, accessible and inclusive hubs with a diverse range of uses that meet the needs of Londoners. London Plan SD6 requires that London’s varied town centres should be promoted and enhanced including main town centre uses, night-time economy, civic, community, social and residential uses. The provision of co-living uses in this town centre location accords with the policy objectives outlined above.
63. The site is located within AV.15 Rotherhithe Area Vision of the Southwark Plan 2022. This states that development in Rotherhithe should:
- create a new destination around the Canada Water Dock that combines shopping, civic, education, and leisure, business and residential uses;
 - provide as many homes as possible of a range of tenures including social housing while respecting the local character (there will be opportunities for taller buildings on key development sites);
 - transform Canada Water into a new heart for Rotherhithe with a new leisure centre, shops and daytime and evening events and activities around the Dock and in the Harmsworth Quays Printworks;
 - provide retail space including a new department store and independent shops, offices and places to eat and drink;
 - provide new education opportunities and health services, which will include new school places and a health centre with GPs, and which could include colleges and universities;
 - complement and improve the historic character, including the docks, and the unique network of open spaces, water and riverside;
 - prioritise walking and cycling and improve public transport, including:
 - improved links to Southwark Park, the river, boat services and docks;
 - completion of the Thames Path;

- a new river crossing to Canary Wharf
- better circulation of buses;
- enhanced cycle routes to support expansion of cycle hire to the area; and
- creating 'healthy streets';
- improve traffic flow on the road network, particularly on Jamaica Road and Lower Road;
- deliver a range of flexible employment spaces, including premises suitable for smaller businesses; and
- improve roads, pavements and cycleways, particularly the local environment around Albion Street and Lower Road.

Southwark Plan Site Allocation

64. NSP80 states that redevelopment of the site must:

- Provide retail uses; and
- Provide community uses; and
- Provide enhanced public realm and civic space; and
- Provide employment floorspace (E(g), B class).

Development of the site should:

- Provide new homes (C3).

Development of the site may:

- Provide leisure uses; and
- Provide student accommodation (sui generis)

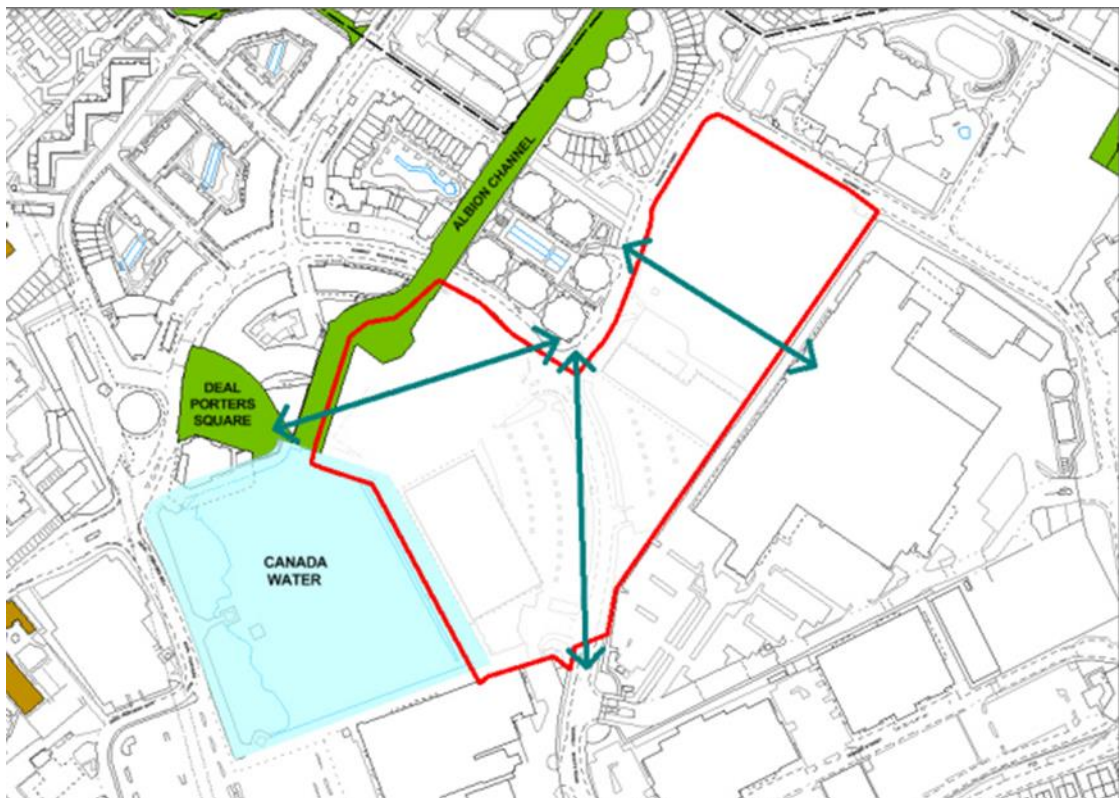




Image above: Site allocation map

65. The majority of the site allocation is already/could be delivered under planning permissions (13/AP/1429 Mulberry Business Park, 21/AP/2655 Artinvest and 12/AP/4126 Decathlon sites) which consented; circa 18,000 sq.m. of retail space, 143,000 sq.m of office space, 500 sq.m of community space and 595 residential homes (including the student units at the equivalent of 2.5 rooms per unit). Consequently the provision of co-living units, along with commercial ground and first floor uses, at this plot would not prejudice the realisation of the overall aspiration for the wider site. Furthermore, the proposed co-living accommodation would make a valuable contribution to the Boroughs housing stock by providing an alternative housing choice for residents (equivalent to 75 conventional C3 homes) whilst adding to the mix, vitality, and diversity of Canada Water Major Town Centre. The proposals is acceptable in land use terms.

Conclusion on policy designations, including response to the site allocations

66. The overarching thrust of polices within the Development Plan is to optimise and make effective use of land. The principle of redeveloping the application site for co-living is acceptable as it would make a valuable contribution to housing delivery whilst the wider site has already delivered conventional C3 and student housing. The wider aspirations for the site allocation commercial space can be met by the recently approved Canada Water Dockside scheme and the already construction Decathlon development.

Employment/business use

67. As discussed in the earlier sections of this report development plan policies seek to achieve a mixed use development on the former Mulberry Business Park site which will make a significant contribution towards employment opportunities as well as providing housing. A significant quantum of retail and employment floorspace has been either been provided or permitted on the remainder of this site allocation.

68. This planning application includes the provision of a public co-working/café facility. This would be a separate commercial use of the ground and first floor creating employment opportunities and contributing to the commercial cluster that is currently being developed on the wider Mulberry site and British Land Masterplan site. The operation of the café and co-living facility has the potential to generate 5 Full Time Equivalent (FTE) jobs which will complement the significant employment opportunities coming forward as part of the wider Canada Water redevelopment.

69. The quantum of commercial development at 285sqm does not trigger a requirement for affordable workspace.

Housing

Policy background

70. The London Plan sets the borough a target of providing 23,550 net new home completions over the next ten years. The targets are to be achieved by: allocating a range of sites for housing; encouraging development on appropriate windfall sites; and optimising the potential for housing delivery on all suitable and available brownfield land. In order to help meet this target –while also ensuring social and other infrastructure is delivered to create mixed and inclusive communities as well as employment opportunities– London Plan Policy SD1 promotes mixed use development in opportunity areas, whereby functions such as retail and community are provided alongside housing.
71. Policy H1 ‘Increasing Housing Supply’ of the London Plan explains that, with the exception of student housing and older people’s housing, all forms of non-self-contained communal accommodation “should count towards meeting housing targets on the basis of a 1.8:1 ratio, with one point eight bedrooms/units being counted as a single home.” It is important to note that this conversion rate is specific to housing target calculations, and is not the metric employed, either by the Borough or the Mayor, for converting co living units into habitable rooms for assessing proposals against affordable housing and viability policies.
72. At the local level, the Southwark Plan reiterates the targets established by the London Plan. Policy ST1 ‘Development targets’ of the Southwark Plan states that the Council “will work with our partners, local communities and developers to ensure that developments deliver the required growth and improvements to achieve our targets including 40,035 homes between 2019 and 2036 (2,355 new homes per annum)”. Of the 40,035 homes, the Plan aims for 11,000 to be new council homes.
73. Policy H16 of the London Plan recognises the need for co-living developments within London, and acknowledges the contribution this typology can make to alleviating the housing strain and raising standards across the rented sector in terms of the quality of accommodation and the security of tenancy. The policy makes clear that co-living schemes must contribute to affordable housing; however, because this form of accommodation does not meet minimum housing space standards it is not considered suitable as a form of affordable housing itself.
74. Policy H16 requires all co-living schemes to be viability tested; however, developments that provide a contribution equal to 35% of the units at a discount of 50% of the market rent are not subject to a late-stage viability review.

75. Aside from viability considerations, Policy H16 also sets out strategic and detailed design requirements for co-living. The policy provides a set of ten criteria that co-living proposals must meet, encompassing themes of:

- locational suitability;
- contribution to the social make-up of the neighbourhood;
- design quality and occupier facilities;
- management; and
- contribution towards conventional (Class C3) affordable housing.

76. At the local level, Southwark Plan Policy P6 requires developments incorporating co-living to deliver, as a first priority, the maximum amount of affordable housing with a minimum of 35% of conventional affordable housing (calculated by habitable room) on site. Policy P6 is structured in recognition of the acute need for more family and affordable housing within the borough, as explained in the policy's supporting notes:

“Allowing too much purpose built shared living accommodation will restrict our ability to deliver more family and affordable housing. By requiring an element of affordable housing or contribution towards affordable housing from purpose built shared living accommodation we can make sure we work towards meeting the strategic need for this accommodation and our local need for affordable homes including affordable family homes”.

77. Although Policy P6 states “All purpose-built shared living schemes will require a viability appraisal to be submitted”, in circumstances where conventional (Class C3) on-site affordable housing is being provided alongside the co-living, and the conventional affordable housing is offered at a level that meets or exceeds the Council's Fast Track threshold (40%), the requirement for a FVA falls away as per Policy P1 (sub section 4) of the Southwark Plan. The Mayor's draft Affordable Housing LPG, for which consultation closed in July 2023, has been updated to include provision that co-living schemes may now provide their affordable housing contribution on site and follow the Fast Track Route, where meeting the relevant threshold.

78. Where conventional (Class C3) affordable housing cannot be provided on site, a cash payment towards the delivery of new council homes will be required. The value of any contributions will be based on the cost of meeting an on-site affordable housing requirement and should provide no financial benefit to the applicant.

79. The consequence of the local-level policy requirements as summarised above is that, in circumstances where a mix of co-living and conventional housing is proposed, two pathways are available to the applicant depending on the level of affordable housing the proposal will provide. The two pathways are:

- a) the Viability Tested Route: this pathway must be followed where the level of affordable housing provided within the development would not meet the Council's Fast Track threshold; or

- b) the Fast Track Route: applicants are eligible for this pathway where 40% or more of the total proposed housing would be:
 - on-site conventional (Class C3) affordable housing in a policy compliant tenure mix without subsidy; or
 - a cash in lieu equivalent of on-site conventional (Class C3) affordable housing in a policy compliant tenure mix without subsidy; or
 - some on-site conventional (Class C3) affordable housing in a policy compliant tenure mix without subsidy, supplemented by a cash in lieu contribution sufficient to raise the effective level of affordable housing to at least 40%.

- 80. Policy P6 does not set out any strategic and detailed design requirements for co-living accommodation, nor does any other policy within the Southwark Plan.
- 81. On 29 February 2024 the GLA adopted new guidance on co-living. This London Plan Guidance (LPG) sets out detailed criteria for identifying appropriate locations for co-living as well as internal standards, recommended communal internal and external requirements and affordable housing provision. The guidance also sets out requirements to be secured in an Operational Management Plan.

Assessment

- 82. A mixed use redevelopment of this part of the former Mulberry Business Site including housing is promoted by the site allocation in the Southwark Plan. As set out in paragraph 64 of this report, other consented and implemented permissions have/will deliver a significant quantum of employment and retail space.
- 83. By delivering 135 co-living studios (equivalent to 75 conventional homes) this planning application would contribute to realising the housing aspirations for the Opportunity Area, in line with London Plan Policy SD1, while also increasing London's housing supply, in accordance with London Plan Policy H1. It is also important to note that the co-living would reduce pressure on the local private rented market, in that it would release back to the private rented sector family sized dwellings that would otherwise be in occupation by house sharers.
- 84. The co-living would complement the existing conventional housing units and student accommodation recently constructed on the wider Mulberry site as well as the existing housing in the wider vicinity. There are no other co-living schemes in the immediate vicinity at this point in time. Consequently the proposal would make a positive contribution to a mixed community in a well-connected inner London location.
- 85. The proposal is acceptable in principle subject to the co-living studios meeting the relevant policies concerned with unit sizes, quality of accommodation, management arrangements and standards of amenity. These matters are discussed in detail below.

Purpose Built Co-living Standards

86. The proposed 135 co-living units equipped will include internal and external amenity spaces for the occupiers as per the accommodation schedule below.

Floor	Facility or Studio Types (and number for each floor)	Size (sq.m NIA)
Basement	co-living and commercial cycle store / plant space	334
Level 00	co-living amenity space comprising reception, lounge, refreshment bar, post room, FM office	194
	commercial / co-workspace café	117
Level 01	co-living amenity comprising work from home space, lounge, communal kitchen	129
	commercial / co-workspace café	108
	1 x Type 2 co-living studios 23.4sqm	23.4
	1 x Type 2a co-living studios 23.4sqm	23.4
	1 x Type 3 co-living studios (accessible) 36sqm	36
Level 02 - 04	12 x Type 1 co-living studios 21.3sqm	255.6
	6 x Type 1a co-living studios 22.3sqm	133.8
	6 x Type 2 co-living studios 23.4sqm	140.4
	6 x Type 2a co-living studios 23.4sqm	140.4
	3 x Type 3 co living studios (accessible) 37sqm	111
	3 x Type 4 co-living studios (accessible) 29sqm	87
	3 x Typical Floor Amenity, kitchen / diner 20.5 sqm	61.5
Level 05-12	32 x Type 1 co-living studios 21.3sqm	681.6
	16 x Type 1a co-living studios 22.3sqm	356.8
	16 x Type 2 co-living studios 23.4sqm	374.4
	16 x Type 2a co-living studios 23.4sqm	374.4
	8 x Type 3 co-living studios (accessible) 37sqm	296
	8 x Type 4 co-living studios (accessible) 29sqm	232
	8 x Typical Floor Amenity, kitchen / diner 20.5 sqm	164
Level 13	1 x lounge, 1 x gym	169
Total Studios:		135
Total Studio NIA:		3266.2
Total Amenity NIA (excluding basement and commercial co working café):		717.5
Average sqm of communal space per PBCL studio:		5.3
External		
Floor	Facility	Size (sq. m)
Level 13	1 x lounge terrace, 1 x gym terrace	192
Total:		192
Average per PBCL studio:		1.4

87. The following paragraphs of this report assess the proposed development against the ten considerations set out under Policy H16 of the London Plan and as supported by the recently published LPG and against relevant amenity policies in the Southwark Plan. The matter of affordable housing provision, and the associated viability considerations, is dealt with in a later part of this report.

Criterion 1: Is the co-living of good quality and design?

88. The proposal would achieve a high quality of architectural design, as discussed in detail in a subsequent part of this report entitled 'Design quality'. The building would make a positive contribution to the surroundings as a result of its high

quality design and provision of public realm which will knit into the emerging context.

89. The co-living accommodation would consist of acceptably-sized and well-equipped en-suite private studios. The studios would meet the unit sizes specified in the LPG. Specifically; no less than 18 sqm and no more than 27sqm with accessible units being no less than 28 sqm and no more than 37 sqm.
90. The quality of the co-living accommodation can be distinguished from Houses in Multiple Occupation (HMOs) by the range of high-quality managed communal amenity spaces that accompany the private studios, these proposed communal spaces would include outdoor terraces and generous co-working lounges, kitchens and dining spaces. For this scheme high quality communal kitchen and dining spaces are proposed on each floor as well as lounge areas, gyms and co working spaces on ground, first and top floors. The provision exceeds the LPG benchmark of 4sqm per resident (up to 100 rooms) and 3 sqm for additional residents (up to 400 rooms). The building also provides cycle storage and a commercial co –working café in addition to the communal private spaces. Finally the external amenity space provision exceeds the benchmark of 1 sqm per resident.

The layout below shows a typical floor within the building.

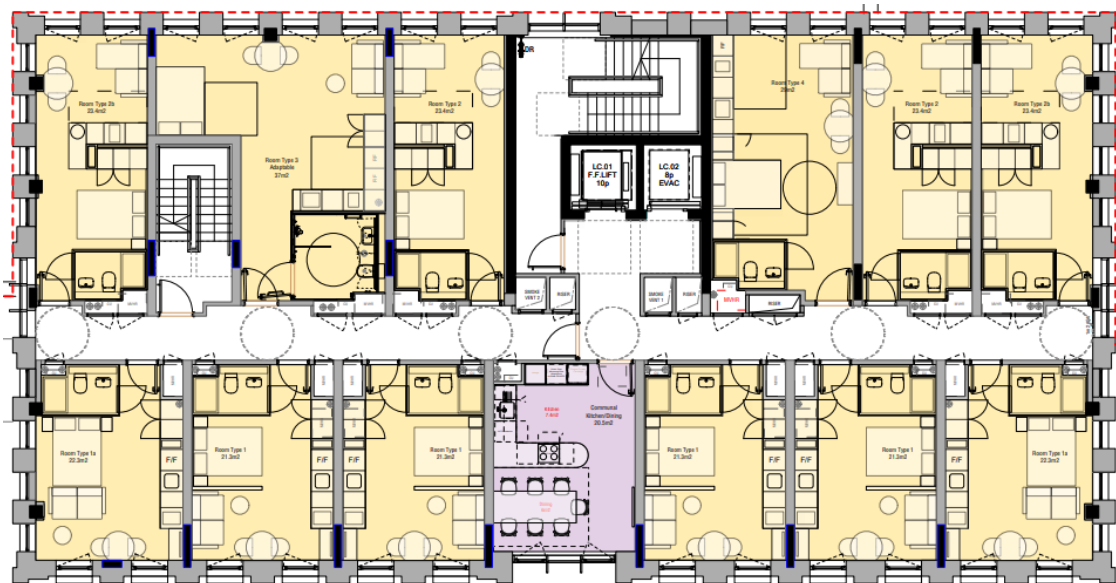


Image above: Typical co-living floor layout showing private en suite units with kitchenette facilities as well as a good provision of communal kitchen/dining facilities.

Criterion 2: Does the co-living contribute towards mixed and inclusive neighbourhoods?

91. Canada Water is well served by public transport by way of London Underground, Overground and several bus services. Accordingly, the site records a high PTAL of 6a, on a scale of 0 to 6b where 6b represents the most accessible locations. Coupled with its very high PTAL the site is well placed within the consented

masterplan and wider context, the surrounds of the site comprise a good balance of commercial, community, conventional residential and retail uses. Canada Water is an area which is set to undergo transformational change with a number of large-scale schemes set to be delivered in the immediate vicinity of the site. The introduction of co-living uses in to this context at this quantum would help to achieve the objective of creating mixed and inclusive communities.

92. To help integrate these households of differing sizes and from across a range of incomes to integrate, a number of on-site shared facilities are proposed. The commercial cafe would provide a dedicated space where the local community can eat, drink, socialise and work together. The café would be accessible by members of the general public, further helping to embed the occupiers of the co-living homes into the neighbourhood. Other on-site facilities in the wider Mulberry site include commercial spaces that could potentially be operated as retail and/or dining outlets; these would provide further opportunities for the co-living and conventional housing residents already living in the immediate area to mix.
93. The co-living would be the only development of this type in the immediate area, at the present time. Given the low representation of co-living schemes within the wider area, it is not considered that the proposal would negatively impact the neighbourhood in terms of the mix of uses and inclusivity.
94. For the reasons given above, the proposed land use is considered to be in conformity with Criterion 2 of London Plan Policy H16.

Criterion 3: Is the site in a well-connected location?

95. The site currently has a high PTAL of 6. The site is well served by buses and trains and is sited within close proximity of the Canada Water Town Centre.
96. Criterion 3 of Policy H16 also requires that, through design, co-living development does not contribute to car dependency. The co-living proposed would be car free (with the exception of 2 accessible blue badge spaces) ensuring there would be no contribution to car dependency. The proposed development includes the provision of safe and secure cycle parking to encourage the use of sustainable modes of transport.
97. For the reasons given above, it is considered that the proposed land use would not contribute towards car dependency, and is thus in conformity with Criterion 3 of London Plan Policy H16.

Criterion 4: Is the co-living under single management?

98. An Operational Management Plan has been submitted with the application setting out how Scape would provide day-to-day management and long term operation of the co-living premises. As such, the proposal complies with Criterion 4 of London Plan Policy H16.

Criterion 5: Are all units for rent with minimum tenancy lengths of at least three months?

99. The tenancy lengths for the shared living development will be a minimum of 3 months. This will be secured in the S106 Agreement. This satisfies Criterion 5 of London Plan Policy H16.

Criterion 6: Are the communal facilities and services sufficient and of good quality?

100. Criterion 6 of Policy H16 sets out six sub-criteria that co-living proposals must satisfy if the needs of the intended number of residents are to be met. These sub-criteria relate to the quality and extent of communal facilities (kitchens, other internal recreational areas, external amenity spaces, and laundry/drying facilities) as well as the services residents would benefit from, such as concierge services and bedding/linen changing.

101. The table in paragraph 82 of this report confirms that the units and communal internal and external spaces comply with and exceed the benchmark standards. The outline management plan submitted confirms that the residents would have access to laundry facilities, regular cleaning and measures for safety and security. The applicant has confirmed that residents would not incur additional fees for usage for any of the internal amenity spaces included in the calculation above. This will be secured in the Section 106 Agreement.

Criterion 7: Are the individual studios adequately sized and laid out, and future-proofed against self-containment?

102. As discussed in the preceding paragraphs the studios are adequately sized. The plans submitted show that each room would have a good layout and facilities that meet the LPG (bathrooms, double beds, seating areas and small kitchenettes). The co-living units would all contain a double bed with storage, a small kitchenette including a sink, fridge/freezer and hob, wardrobe space, soft seating area, wardrobe storage and an en-suite shower, toilet and sink.

There are 6 room types

- Type 1 is 21.3 sq.m,
- Type 1a is 22.3 sqm
- Type 2 is 23.4 sqm
- Type 2b is 23.4 sqm
- Type 3 is an adaptable rooms at 37sqm and
- Type 4 is an adaptable rooms at 29 sqm

Overall, the layout and quantum of private internal space within the rooms would be of an acceptable quality and would provide adequate functional living space as set out in Policy H16.

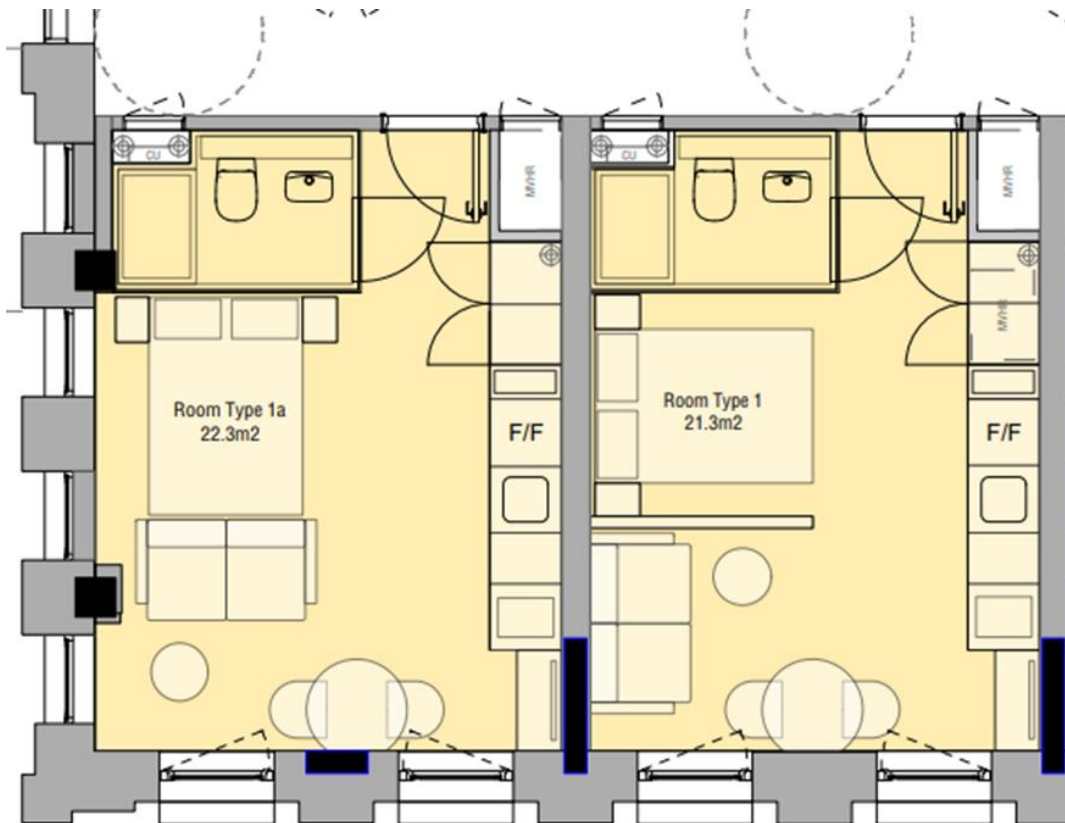


Image below: Example room layout for the smaller units.

103. In terms of future proofing against future self-containment, the proposed co-living studios would not comply with the minimum sizes required by development plan policies for self-contained homes. None of the studios would meet the minimum space standards of 37sqm for a 1b1p unit or 65sqm for an accessible unit. They are clearly designed as part of a wider community with reliance of the shared amenity facilities, with a view to creating an integrated community. In this regard, the proposed studios constitute a Sui Generis use.

104. The s106 agreement should include obligations to secure the following

- Confirm the sui generis use and prevent any future change of use to self-contained accommodation
- Stipulate single room occupancy only
- Secure minimum 3 month tenancies
- Secure continued and free access for all residents to the communal facilities.

Criterion 8: Is the co-living supported by a management plan?

105. As mentioned previously in this section of the report, the co-living premises will be managed by Scape. An Operational Management Plan has been submitted with the application setting out how the Management Company will provide for the day-to-day management of the co-living accommodation and ensure the long-

term quality of the development in a way that supports the community. The management plan covers the following:

- Cleaning and maintenance of communal and private spaces
- Staffing, reception and facilities management
- Deliveries/post
- Moving in and out
- Security and safety
- Resident behaviour

106. The applicant is intending to run the site with a dedicated on-site management team. With regard to security procedures, the Operational Management Plan includes commitments to 24-hour on-site security at the property, comprehensive CCTV coverage, and electronic access control lock systems throughout. The Fire Safety Statement submitted in support of the application details the safeguarding of external and internal communal spaces and safety measures for private units and communal spaces. The Operational Management Plan commits to regular maintenance and cleaning of the internal communal spaces across the week. A specific commitment is made to maintain the communal kitchens on a daily basis. With regard to external communal areas these will be kept clean and tidy, safe and free from hazards by the General Manager and cleaning staff.

107. The Operational Management Plan outlines how tenants would be provided with a good level service on a day-to-day basis as part of their 'all inclusive' monthly rent. It also provides the necessary assurances in respect of the current and long-term management of the co-living, as well as fire safety and security arrangements. This is all in accordance with the aims of the LPG. The management plan and minimum tenancy terms will be secured with the S106 agreement.

Criterion 9: Has a cash in lieu contribution towards conventional C3 affordable housing been secured?

108. A Payment in Lieu (PiL) will be secured in the s106 Agreement.

109. This matter is discussed in detail in a later part of this report entitled 'Development viability'.

Southwark Plan Amenity Considerations

110. The preceding paragraphs of this report demonstrate that the proposal is compliant with the Purpose Built Co Living LPG. The following paragraphs elaborate on the standard of amenity that will be afforded to future residents in accordance with the residential amenity considerations set out in the Southwark Plan and SPD (as relevant).

Noise and Ventilation

111. Each co-living studio would incorporate at least one window with an openable pane, with the glazing size and specification optimised to maximise natural daylight within the units. The openable would allow for a degree of manually-

controlled passive ventilation and thermal control. Comfort cooling would be available in the studios to complement the natural ventilation.

112. A Noise and Vibration Impact Assessment accompanies the application, which outlines the façade and ventilation strategy. The background noise in this location is such that in the predicted worst case conditions (i.e. when noise emanating from Printworks Street is at its highest), residents would need to close their windows to maintain an internal noise environment that does not exceed the target levels set out in Building Standards. At less noisy times of the day residents would be able to open their windows without their internal environment being target noise levels being exceeded. As such, subject to the proposed mitigation measures for this scheme, (such as suitably specified glazing and mechanical ventilation), the report predicts no significant adverse impacts in relation to noise or vibration levels.
113. It should be noted that with windows open some noise from future events in Printworks may be audible (if planning permission is granted for the Printworks venue). The Environmental Protection Team (EPT) have assessed the noise implications of the proposed Printworks venue and have concluded that overall whilst there may be some audible bass/music from the venue, and potentially in the worst case some minor adverse impact on the surrounding area, the proposal meets planning policy in respect of noise. In any event planning permission has not yet been granted for Printworks and on its own merits this proposal has demonstrated that the building can be adequately soundproofed to afford future occupiers an appropriate standard of amenity in respect of noise.
114. EPT requested additional clarification on noise and ventilation matters which the applicant provided. They are now satisfied that an acceptable level of amenity would be secured for the co-living occupiers subject to recommended conditions. A subsequent section of this report entitled 'Energy and Sustainability' deals in more detail with the environmental strategy for the accommodation.

Outlook, sense of openness and privacy

115. The proposal to build on the footprint of the previously consented Block C means that the design must respond to the constraints of its context. As a previously designed office block adjacent to student accommodation the blocks were proposed to be constructed closer together than the planning authority would usually regard as appropriate for residential schemes, with the existing student Block (A) located approximately 6.5m away from the west elevation of Block C and approximately 3.5m away from the north elevation. These distances would not meet the residential standards SPD. However, the design of the scheme responds appropriately to its surroundings to ensure that occupiers of the co-living studios would be afforded an acceptable level of outlook and privacy as discussed below.
116. As shown in the images below, the corner studios located closest to the southeast wing of Block A are designed as dual aspect with the side facing windows being obscure glazed and fixed shut thus preventing any direct overlooking at this closest point. The rear facing openable windows will have unobscured views

across the communal external amenity space serving the student scheme. It is recommended that a condition be imposed to ensure that side windows remain obscure glazed and fixed shut to protect the amenity of future residents of the co-living scheme and the adjacent student accommodation. It is important to note that this relationship will exist up to floor 5 of the co-living scheme. From the 6th floor Block C will rise above the adjacent student block therefore experiencing greater separation distances between this site and the neighbouring development (currently low level sheds on the Artinvest site but planned high rise development with a distance of 38m).

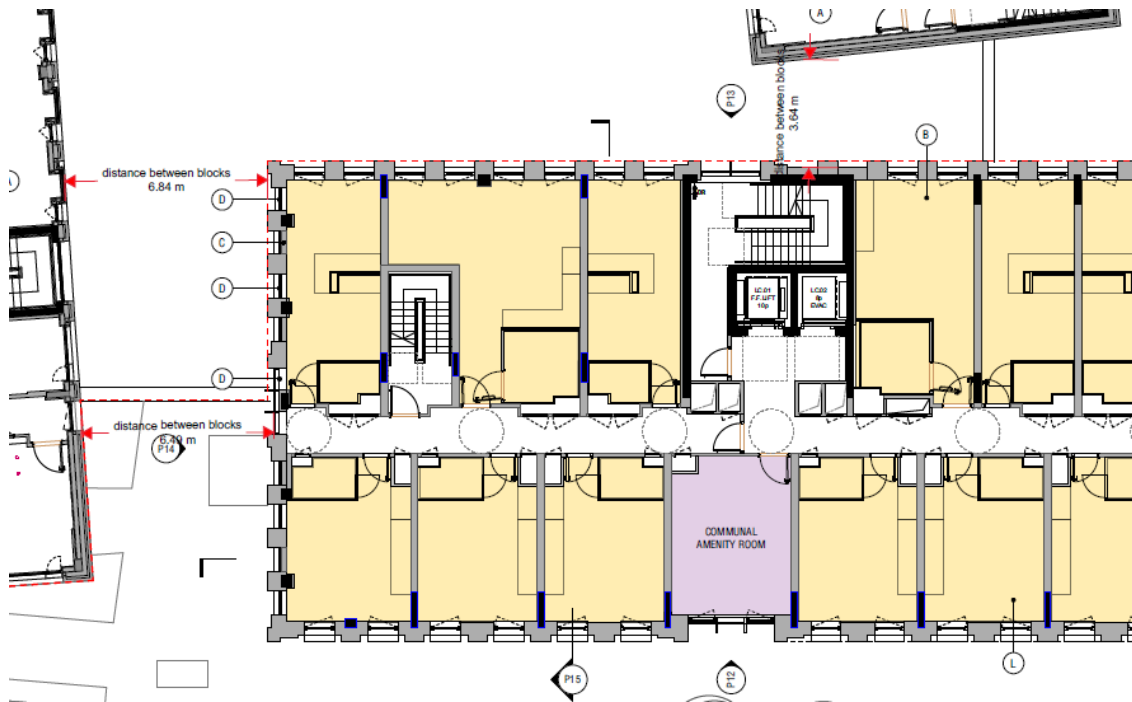


Image above: layout of floors 2-4 to show relationship to neighbouring blocks

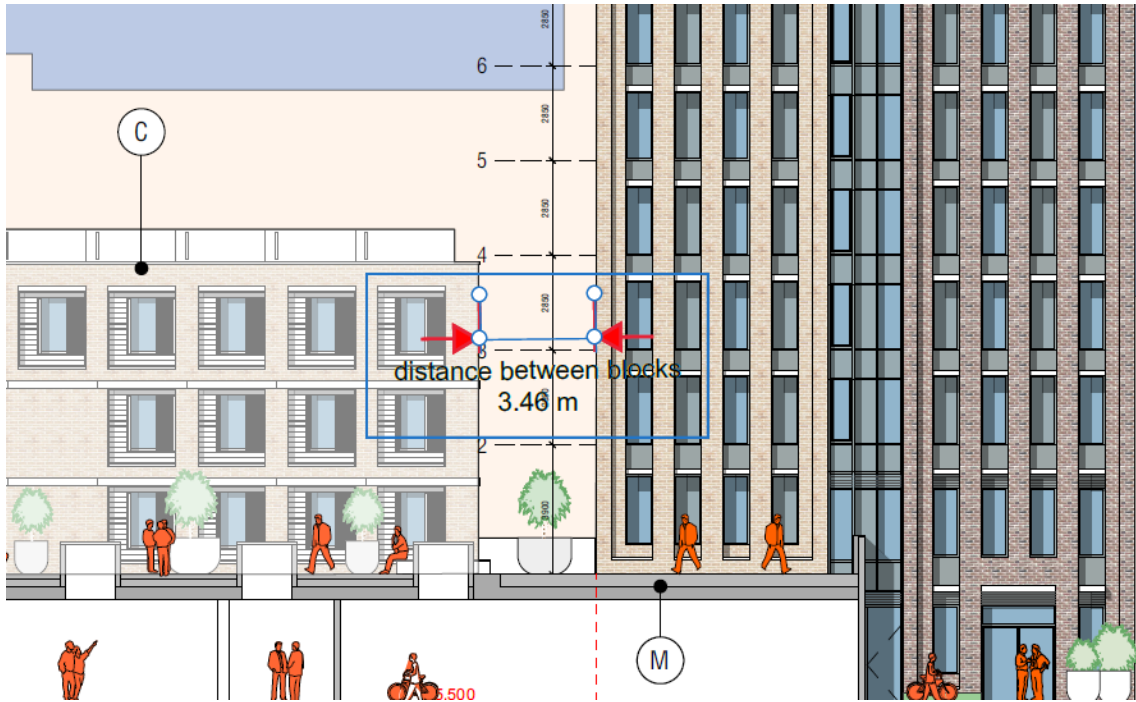


Image above: visual to show relationship with southeast wing of the adjacent student scheme

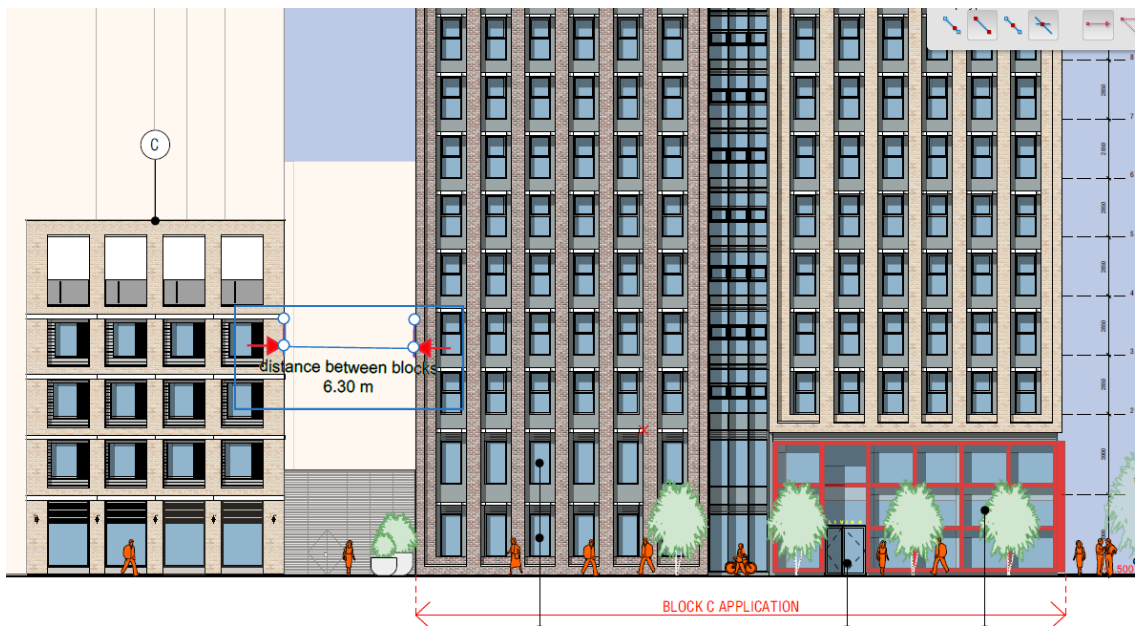


Image above: visual to show relationship with northeast wing of the adjacent student scheme

117. As the above images show, the studios proposed in the rear (north end) of the co-living block will look onto the blank façade of the northeast wing of the adjacent student block at a distance of 3.5m. Whilst this will restrict the outlook for two units on each floor that are single aspect there will be no issue of overlooking or loss of privacy. It is important to note that this relationship will exist up to floor 5 of the co-living scheme. From the 6th floor Block C will rise above the adjacent student block therefore facilitating long views towards Canada Street.

118. The studios proposed in the front section of the building will be afforded good levels of privacy and outlook overlooking Printworks Street and Mulberry Walk with generous distances between Block C and adjacent buildings.
119. Given the limited number of studios that will experience compromised levels of outlook (8 units in the northwest section of the building) and the design measures proposed to protect privacy of the 8 units located in the southwest corner together with the provision of generous high quality communal amenity spaces and external terraces, the proposal is considered to be acceptable in this respect.

Daylight

120. In new buildings, the BRE 2022 guidelines recommend calculating 'illuminance' to determine whether a dwelling will appear reasonably daylight. The UK National Annex gives illuminance recommendations of:

- 100 lux in bedrooms;
- 150 lux in living rooms; and
- 200 lux in kitchens.

These are the median illuminances, to be exceeded over at least 50% of the assessment points in the room for at least half of the daylight hours. Where a room has a shared use, the highest illuminance target should apply. However, in the interests of discouraging applicants from designing small separate windowless kitchens, a degree of design flexibility can be applied in the case of a combined living/dining/kitchen area if the kitchens are not treated as habitable spaces.

121. This application was accompanied by a Daylight Assessment which considers the scheme both within:

- The existing site context, and
- Assuming that the neighbouring Artinvest and Printworks consents are implemented, along with the maximum parameter massing for the outline consent for Plot L of the Canada Water Masterplan (located to the north-east
-

With respect to daylight, the applicant's report has tested 149 windows within the building (taking account of studios and communal spaces) 101 (67%) achieve the 2022 BRE CBDM targets in the existing site context, and 89 (59%) within the consented site context.

122. The above figures include assessment of the communal kitchens and study spaces. Considering the 135 individual studios independently the compliance rates slightly increase to, existing scenario 68.9% and consented scenario: 60.7%.

123. In summary, although rooms at lower floor levels will naturally receive lower levels of daylight due to the proximity of neighbouring buildings and it is

recognised that some of the shared kitchen/dining spaces and studios will achieve very low levels of natural daylight, overall the proposal is considered to be acceptable, having regard to the dense nature of co-living blocks in an urban location such as this. Furthermore, compromised daylight levels are considered to be more acceptable for co-living schemes than conventional C3 residential uses given the transient nature of occupation which is one of the factors that makes the co-living model different to conventional C3 housing and; the quality of the communal spaces that will be included in the development overall.

Sunlight

124. In new buildings, the BRE 2022 guidelines recommend calculating the 'sunlight exposure' to assess whether a dwelling will appear reasonably sunlit. This test measures the hours of sunlight that could be received at the centre point of each window on 21st March. The BRE recommends that:

- through site layout design, at least one main window wall should face within 90-degrees of due south;
- a habitable room, preferably a main living room, should receive a total of at least 1.5 hours of sunlight on 21st March; and
- where groups of dwellings are planned, site layout design should aim to maximise the number of dwellings that meet the above recommendations.

In housing, the main requirement for sunlight is in living rooms. It is viewed as less important in kitchens and bedrooms.

125. The sunlight analysis submitted with this application considers the existing site context and the option of neighbouring planning permissions being built out. The analysis demonstrates that that overall, throughout the scheme, 45% of the rooms assessed will achieve the BRE target levels of sunlight within the existing site context, and this level of compliance will be reduced slightly to 40.3% if neighbouring consents are built. On balance, taking account of the urban context, the benefits of providing residential accommodation for 135 people and the transient nature of the co-living housing model, the proposal is considered to be acceptable in this regard.

Wheelchair studios

126. In order to meet the requirements of London Plan Policy D5 and ensure inclusive design, co-living schemes should provide 10% of the studios to the M4(3) standards established by Approved Document M of the Building Regulations. Unlike with conventional housing, co-living studios do not need to meet either of the sub-categories (i.e. M4(3)(2)(a) or M(4)(3)(2)b); however, the layouts should be broadly compliant with the 'accessible units' guidance given in the Mayor's LPG.

127. The proposed development would provide 14 wheelchair accessible studios, equating to 10 % of the total number. These studios would be distributed across various different floors of the development, and their configuration would conform to the guidance given in the LPG. The wheelchair provision should be secured in

the s106 agreement. Consequently it is considered that the proposal complies with London Plan Policy D5.

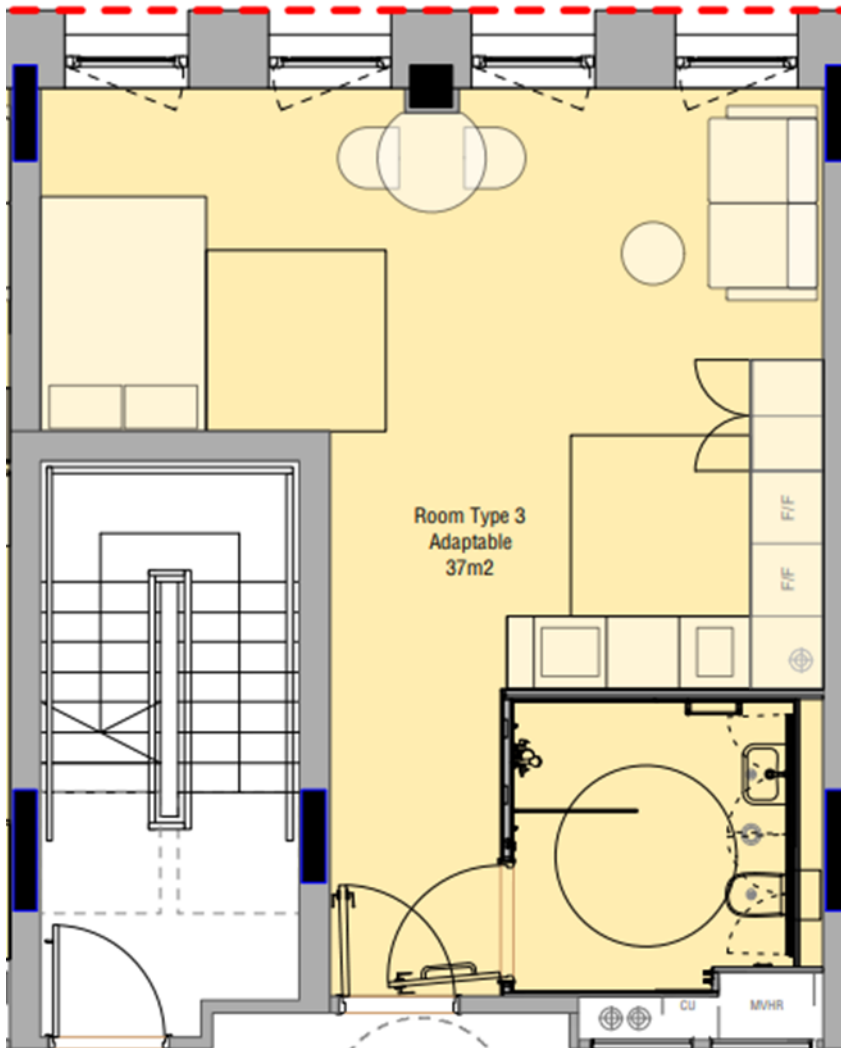


Image above: example of a wheelchair studio

Conclusion on co-living

128. The proposed co-living would comply with the criteria of London Plan Policy H16, providing a suitably-located premises of high quality design, with the accommodation to be under single management and all tenancies to be at least three months in duration. The individual units and communal spaces have been well designed in terms of spatial arrangement, internal environmental conditions and level of amenity, in accordance with the criteria of Policy H16 as well as the relevant parts of the Southwark Plan.

Affordable housing and development viability

Policy background

129. London Plan Policy H4 requires development to deliver the maximum reasonable amount of affordable housing, with the Mayor setting a strategic target of 50%. The Policy promotes the delivery of those affordable homes on-site, with a cash in lieu contribution permitted only in exceptional circumstances. Policy H4 details the quantum of affordable housing proposals must provide in order to qualify for the “Fast Track” route, whereby a detailed viability assessment will not be required at planning application stage but the permission will be subject to review mechanisms if development is not commenced within two years. For this site, a minimum of 35% would be required, assuming the delivery of the housing is not facilitated by any public subsidy.
130. At the local level, the Southwark Plan also includes a Fast Track route, albeit setting a higher bar to pass than the Mayor. It states that a detailed interrogation of viability will be waived only where a development provides 40% affordable housing in a policy compliant tenure mix (i.e. a minimum of 25% social rent and a minimum of 10% intermediate housing), with no grant subsidy. The 40% Fast Track threshold is calculated on a habitable room basis.

Assessment

131. As explained in the earlier sections of this report, co-living developments must contribute to affordable housing. However, because co-living is a non-self-contained housing product that does not meet dwelling space standards, the contribution it makes to affordable housing must be in the form of:
- on-site conventional (Class C3) affordable housing; or
 - a payment in-lieu towards off-site conventional (Class C3) affordable housing; or
 - a combination of the two.
132. The Council accepts a methodology of treating each co-living unit as one habitable room subject to: the wider co-living premises providing adequate communal facilities; and none of the communal facilities contributing to the habitable room count. On this basis the proposal equates to 135 hab rooms
133. This application was accompanied by a viability assessment which has been scrutinised by a consultant appointed on behalf of the Council. That assessment and subsequent negotiation has resulted in an affordable housing offer for a PiL equivalent to 40% affordable housing, on the basis of 135 habitable rooms. This equates to a sum of £5.4 million pounds which should be secured in the s106 agreement ($135/100 \times 40 = 54 - 54 \times £100,000 = £5.4m$).
134. The s106 agreement will incorporate: an implementation-dependent Early Stage Review clause. Given the PiL contribution and review mechanism the proposal is considered to be compliant with affordable housing policies.

Amenity impacts on nearby residential occupiers and the surrounding area

135. The importance of protecting neighbouring amenity is set out in Southwark Plan Policy P56, which states “development should not be permitted when it causes an unacceptable loss of amenity to present or future occupiers or users”. The 2015 Technical Update to the Residential Design Standards SPD 2011 expands on policy and sets out guidance for protecting amenity in relation to privacy, daylight and sunlight.

Daylight and sunlight

136. The BRE Guidance sets out the rationale for testing the daylight impacts of new development through various tests. The first and most readily adopted test prescribed by the BRE Guidelines is the Vertical Sky Component assessment (VSC). This test considers the potential for daylight by calculating the angle of vertical sky at the centre of each of the windows serving the residential buildings which look towards the site. The target figure for VSC recommended by the BRE is 27%, which is considered to be a good level of daylight and the level recommended for habitable rooms with windows on principal elevations. The BRE have determined that the daylight can be reduced by approximately 20% of the original value before the loss is noticeable.
137. The second method is the No Sky Line (NSL) or Daylight Distribution (DD) method, which assesses the proportion of the room where the sky is visible, and plots the change in the No Sky Line between the existing and proposed situation. It advises that if there is a reduction of more than 20% in the area of sky visibility, daylight may be affected.

Properties assessed for daylight impacts

138. This planning application was accompanied by a daylight assessment undertaken in accordance with the BRE guidelines. Additional information was provided to ensure that all relevant properties had been assessed.

The assessment considers the changes in daylight amenity from the existing and consented position (extant 2013 permission). Whilst the daylight and sunlight effects of the latest Proposed Scheme compared to the existing site position (i.e., with the single storey podium as built) have been provided, as the full extant planning consent for the wider Mulberry Business site has largely been built out and Block C can still be built, the primary consideration should be the effects compared to the consented position. This report focuses on the additional impact created by adding height to the consented position.

139. The assessment considers the impact on nearby residential schemes that could be affected by the proposal (it is not necessary to assess impact on the proposed commercial scheme on the ArtInvest site). The following surrounding properties contain residential accommodation and have been considered due to their proximity to the development site:
- Mulberry Business Centre (Blocks A1, A2, A5, A6, A9, B3 & B4)

- 24-28 Quebec Way
- Zone L, Canada Water Masterplan (consented development)
- Zone H, Canada water Masterplan (VSC analysis on the existing façade)
- Pavillion House, Water Gardens Square
- Giverny House, Water Gardens Square



Image above: plan to show buildings tested for daylight and sunlight impacts

140. The most likely affected existing properties would be the student accommodation within the Mulberry Business Centre. The windows serving Block A1 will experience the largest proportional reductions in VSC but will retain very similar levels of daylight after development compared to the consented position. The absolute changes in VSC to these windows compared to the consented position are negligible (0.6% - 0.8%). Similarly, the windows serving Block B4 would not experience absolute reductions in VSC of more than 1.3% compared to the consented position. The level of change in daylight amenity to these blocks compared to the consented position is therefore not considered material.
141. The flats at 24 - 28 Quebec Way are located to the east of the site. The analysis demonstrates that the effects on daylight fully accord with default BRE numerical guidance.
142. Given the proximity of this site to the BL Masterplan and the fact that the outline permission for BL allows for residential development to come forward within the neighbouring blocks it is necessary to consider the potential impact of this proposal on the relevant blocks of the BL Masterplan (Plots H and L). It is important to note that the Outline Planning Permission and subsequent Reserved Matters Approval for the BL developments was granted consent after the extant consent for Block C.
143. At the time of publishing this report a Reserved Matters Approval has been granted for residential development in Zone L and commercial development in Zone H (the RMAs have not yet been implemented). A further RMA has been

submitted for mixed commercial and cultural uses within the Printworks Building, this is still under consideration.

144. If the RMA for Zone H had been implemented for commercial or cultural use it would not be necessary for this application to undertake detailed daylight/sunlight analysis for Plot H. However, despite the commercial proposals for Zone H it is still possible that a residential RMA could be submitted in the future if BL decide not to implement the commercial and/or cultural RMAs. Consequently at this point in time Plot H could deliver commercial or residential development and should be assessed in that context.
145. For Zone H, the analysis submitted uses a VSC façade study to calculate levels of daylight across the facades of Zone H in the consented and proposed conditions. The assessment includes the outline consented schemes for Block A1, A2 and B of the Artinvest development (planning ref .21/AP/2655), located to the south-west of the Site. While a small portion of the Printworks elevation at upper levels directly opposite Block C would experience some proportional reductions in VSC of up to circa 20-30% compared to the consented position, by this level retained VSC values will be in the mid-teens and upward. This level of daylight is commensurate those appropriate for an urban location, and is considered good for the site context. It is noted that the levels of VSC to be retained are comparable (and in some cases better) than VSC façade levels on other proposed buildings in the BL masterplan. At lower levels there will not be noticeable reductions compared to the consented position.
146. The BL Zone L development is located to the east of the application site. The analysis demonstrates that no window serving the property would experience an absolute change in VSC of more than 2% compared to the consented position. Consequently, the effects on daylight amenity to this property are considered acceptable.
147. Pavillion House & Giverny House, Water Gardens Square are located to the north of the application site. The analysis shows that reductions in both daylight and sunlight to these properties (compared to the existing site condition) are very minor and in full accordance with default BRE VSC, NSL and APSH assessment criteria. As such the Proposed Development will therefore not have a material effect on the daylight or sunlight amenity to these properties.
148. To determine whether a neighbouring existing building may be adversely affected, the initial test provided by the BRE is to establish if any part of the proposal subtends an angle of more than 25° from the lowest window serving the existing building. If this is the case then there may be an adverse effect, and more detailed calculations are required to quantify the extent of any impact.

Dovecote House is located more than 110 metres from Block C, and the lowest windows that face the site are located at first floor podium level. This means that Block C will sit comfortably below a 25 degree line from these windows, and therefore, in line with BRE guidance, there will not be any material effect and detailed calculations are not required. Furthermore, it is also noted that the recently constructed 8 storey block opposite Dovecote House across Canada

Street will in fact prevent the lowest windows in Dovecote House from having any view of Block C (and therefore Block C will have no effect on these windows). Block C will not be visible over this block until around 3rd floor level, and from this level it will subtend an angle of no more than circa 17 degrees (very comfortably below 25 degrees).

The effects on the two adjacent buildings to the south of Dovecote House (Pavillion House and Giverny House), both of which are slightly nearer to the site of Block C have been assessed. The report concluded that the effects on both of these buildings were very minor and in full accordance with both the BRE daylight and sunlight assessment criteria. This further demonstrates that there will be no material effect on Dovecote House and that detailed calculations are not required.

149. In conclusion, on the basis of the daylight assessment submitted officers conclude that approval of this scheme would not have an unacceptable impact on the daylight enjoyed by neighbouring properties compared to the extant scheme and would not fetter the ability for the adjacent developments to deliver an acceptable quality of residential units in Plots H or L.

Sunlight

150. The applicant's daylight and sunlight report has assessed the impact of the proposed development on the sunlight received at all windows facing within 90 degrees of due south. The BRE guide states that nearby windows must be assessed using the three-stage process set out below to determine if, as a result of the development, the sunlight levels would reduce to an extent that the room may feel colder and less pleasant.

151. The first stage is to determine if the window would experience:

- a reduction in sunlight to less than 25% Annual Probable Sunlight Hours (APSH); or
- a reduction in sunlight to less than 5% Winter Probable Sunlight Hours (WPSH); or
- both of the above.

152. If one of the above criteria is triggered, the second stage is to determine if:

- the window's resulting APSH is less than 0.8 times its former value; or
- the window's resulting WPSH is less than 0.8 times its former value; or
- both of the above.

153. Where one of the criteria in Stage 2 is met, the final stage is to determine if the overall loss of sunlight across the whole year would reduce by more than 4% of APSH.

154. The following surrounding properties contain residential accommodation and have been considered due to their proximity and relationship to the development site:

- Mulberry Business Centre (Blocks A1, A2, A5, A6, A9, B3 & B4)
-

- 24-28 Quebec Way
- Zone L, Canada Water Masterplan (consented development)

155. For the Mulberry Business Centre blocks the majority of rooms assessed would not experience an absolute change in APSH of more than 2% compared to the consented position, and no window would experience a change of more than 6%. Of the 10 rooms that experience an absolute change of more than 4% (the level of change that is considered unnoticeable irrespective of the proportional reduction), 8 will retain at least 37% APSH after development, comfortably more than the default BRE target of 25%.

156. The flats at 24 - 28 Quebec Way are located to the east of the site. The analysis demonstrates that the effects on sunlight fully accord with default BRE numerical guidance.

157. For the BL Zone L development, of the 38 rooms assessed, 34 will not experience any change in APSH compared to the consented position. The other 4 rooms (which are all bedrooms) would experience minor changes of 1%-3% compared to the consented position. Consequently sunlight amenity to this neighbouring building will not be significantly worse if the Proposed Scheme is built, rather than the extant consent for Block C.

Conclusion on daylight and sunlight

158. While there will inevitably be some noticeable reductions to some existing blocks within the wider Former Mulberry Business Centre Site (as Block C is currently occupied by a single storey podium structure), these blocks were consented with a 9 storey office building on Block C. It is therefore appropriate to give more weight to the impact on levels of daylight and sunlight with the Proposed Scheme in place to the consented position. The analysis submitted demonstrates that in this respect there will be no material difference in retained levels of amenity.

Overshadowing

159. The test promoted by the BRE for assessing overshadowing impacts on external amenity space is the 'Sun on Ground' assessment. This models the proportion of an outdoor amenity space where the sun would reach the ground on 21st March each year. On that date, the BRE advises that at least 50% of the area tested should receive a minimum of two hours of sunlight.

160. The additional increase in height of Block C will not result in any significant increase in overshadowing to the external amenity spaces within the wider Mulberry site.

Privacy

161. With regard specifically to preventing harmful overlooking of dwellings, the 2015 Technical Update to the Residential Design Standards SPD 2011 requires developments to achieve:

- a distance of 12 metres between windows on a highway-fronting elevation and those opposite at existing buildings; and
- a distance of 21 metres between windows on a rear elevation and those opposite at existing buildings.

162. The following distances will be retained between Block C and adjoining neighbours:-

- 6.5m between the south elevation of Block C and the southwest wing of the adjacent student Block (A)
- 3.7m between the west elevation and the southeast adjacent student Block (A). There are no windows in the neighbouring façade.
- 12.4m between the north elevation and adjacent student Block (B) – separated by a public route through the site known as Mulberry Walk.
- 15m between the east elevation of Block C and the Former Printworks building – separated by Printworks Street.

163. As discussed in the earlier section of this report the closest existing neighbours would be the students occupying the southwest wing of Block A. Design measures such as obscure glazed, fixed shut windows will prevent any unacceptable overlooking. As demonstrated above in all other directions the minimum distances set out in the residential design standards would be achieved.

Outlook and sense of enclosure

164. For the reasons discussed earlier in this report the relationship between the adjacent student block and proposed co-living accommodation is considered to be acceptable in terms of impact on outlook and sense of enclosure. Given the distances that will be retained between the site and other adjacent neighbours the proposal will not give rise to a loss of outlook or sense of enclosure for other existing or future occupiers.

Noise and vibration

165. This application was accompanied by a noise and vibration assessment. The assessment includes a baseline survey of existing noise levels at the site, the survey data was used to inform the design of the building and any necessary mitigation measures. The design incorporates the following measures to mitigate against potential noise pollution for future occupiers:-

- A buffer zone between the carriageway of Printworks Street and the building façade,
- Acoustic screens will be created by the proposed soft landscape treatment in the public realm.
- The building fabric will incorporate appropriate sound proofing measures for the location (taking into account proximity of nearby roads and existing and planned uses on adjacent sites).

- Mechanical ventilation is proposed to enable windows to be kept shut during noisy periods.
- Openable windows will be provided for purge ventilation and to offer choice of natural ventilation for residents.
- Acoustic screening will be incorporated into the landscaping proposals to help manage noise levels on the terrace.
- Internal sound proofing measures will be incorporated into the building fabric to prevent noise pollution between the commercial and co-living elements of the building

166. The proposed development is to include roof plant that will service the co-living rooms and commercial premises. The roof plant comprises smoke extract fans and air source heat pumps. As part of the design, it is proposed to install a screen around the air source heat pumps to limit noise breakout to any neighbouring receptors.

167. A vibration survey has been undertaken to determine the potential significance of any ground borne vibration at the site. It should be noted that the monitoring duration was chosen in order to 'pick-up' any vibration associated with the jubilee that runs underneath the proposed site and any activity associated with the multi events space, Printworks. During the time of the vibration survey, there were events held at the multi events space, Printworks, both on Friday 7th during 20:00 – 03:00 hours and Saturday 8th 12:00 – 23:00 hours. The on-site survey working indicates that measured vibration levels are an order or magnitude lower than values likely to indicate complaint.

168. The Councils EPT have scrutinised the proposal and raise no objection subject to the recommended conditions in respect of sound proofing and controlled noise levels.

Public noise nuisance

169. In terms of public noise nuisance from the development for surrounding residents, an Operational Management Plan submitted with the application details how the management company, would operate the accommodation so as to limit sources of human noise disturbance to neighbours. The outdoor amenity spaces have the greatest potential to cause disturbance to surrounding residents, and as such these will be limited to the following hours of opening:

- 08:00-22:00 all days of the week, including Bank Holidays (this reflects the hours approved on other external terraces proposed in adjacent schemes).

170. The only other potential sources of public noise nuisance is the proposed commercial unit. Examples include the use of the commercial unit for a café function, and any entertainment or music taking place incidental to this function. In order to limit any risk of public noise nuisance, it is recommended that the following opening hours limitations be imposed.

- 07:00-23:00 Mondays to Saturdays; and

- 07:00-22:00 Sundays and Bank Holidays.

Odour

171. The application is not accompanied by any extraction details. The applicant has confirmed that the design of the building does not incorporate a riser for future extract/ventilation. However, they are not intending to do any primary cooking in the commercial units. Consequently a condition will be attached to prevent primary cooking in the interests of protecting amenity for residents.

Design

172. The site benefits from an extant permission, 13/AP/1429 for the construction of a tall building in this specific location on the site. To a large extent, the application is a reworking of the consented Block D, but for co-living accommodation with an element of commercial (E Class) space rather than offices throughout, as well as for a taller building. The building's siting and footprint remain much the same, whilst the height and detailed designs have changed. The original scheme was for nine commercial office storeys and reached a uniform height of 42.8m AOD. The new scheme is part 13/ 14 storeys that, with the switch to residential storeys, translates to a stepped height of 46.5m, 50m and 51.4m AOD.

This is a material consideration when assessing the acceptability of the current proposal.

Site layout and public realm

173. The siting of the building has been established by the 2013 proposal. The new building would continue to complete the street block, generally closing out the 'U' shaped form and providing coherent building edges to the adjoining public realm. The development would maintain the general building lines, albeit the wider development is distinctive for its slightly cranked building lines that are intended to relieve its massing and enliven the street scene.
174. The proposal seeks to create a mixed-use building comprising a publicly accessible co-working cafe space at ground and first floor level which marks the corner of Printworks Street and Mulberry Walk. A separate co-living entrance fronts Printworks Street, with co-living rooms and associated amenity spaces on the upper floors. Sufficient land has been made available for Printworks Street to be extended from a single carriageway (one way) road, to a single carriageway (two way) road, with enhanced landscaping and public realm improvements.
175. The location of the café, co living amenity space and main entrances to the building creates a continuous active frontage which activates the public realm. Locating the servicing and cycle entrance and refuse stores at the back of the building (accessed via Mulberry Walk) is logical and works well with the location of the servicing area for the recently constructed adjacent student accommodation block.

176. The scheme includes a small area of landscaping to the southwest flank of the new building. The area sits within a recess between the new building and the adjacent retail unit at the end of Green Street (Block A). The landscaped space opens onto Printworks Street and is publicly accessible, providing the potential for an attractive outdoor pocket garden. The space is overseen by the adjacent retail and co-living lounge, with both uses having doors onto the space.
177. Overall, the layout is supported, meeting the urban design requirements of policy P13 (3-4).

Height, scale, massing and tall building considerations

178. Whilst the consented scheme sets a precedence for a tall building on this site, there is nonetheless the expectation that the new development meets the requirements of the tall buildings policy, both in terms of the Southwark Plan and London Plan. The development is within an area considered generally suitable for tall buildings, albeit towards the edge, being within the Major Town Centre and Action Area Core for Canada Water.
179. The proposed building has three stepped forms with the tallest element being 51.4m AOD. Regarding scale, whilst the footprint remains the same, its height and massing have increased with the additional floors. Importantly, the approach is for a more articulated design that works well to relieve the visual impacts of the proposed increased massing and brings several improvements compared to the consented scheme.
180. The earlier rectangular planform and curtain walling treatment gave rise to a simple, almost monolithic built form, albeit its scale sat comfortably at the top end of Block A onto Printworks Street. The new design seeks to express the built form as four tall, conjoined volumes, each finished in brickwork and made visually discrete by recessed, glazed curtain walled slots. The new elevational treatment breaks down the perceived length and depth of the new building and gives it a slender proportion, which responds better to the massing of the neighbouring buildings within the street block. The slender proportion is further articulated at roof level by lifting two of the volumes by an additional storey, providing rooftop amenity rooms at 14th storey level. The rooms are positioned on the diagonal, generating a varied roof profile, providing visual interest. Overall, the massing is well-considered.
181. Regarding the overall height, the building would be notable as a tall building. However, the sense of this being a taller building than previously envisaged or a particularly tall building would not be especially evident when viewed close by. Nearby, the focus is on how the building grounds and relates to the immediate street scene. In this instance, the reduction in the perceived massing and the engaging design of the ground floor frontages with its legible entrances would distract the eye from reading the building as overbearing or particularly tall, especially given the presence of the large scale Harmsworth Quay building directly opposite.

182. The increase in height would mainly be seen in mid and longer distance views, where the comparison with its immediate neighbours becomes more evident. In the views along Mulberry Walk, Green Street and Quebec Way, whereas the consented building would pop above the remainder of the street block (which is more moderately scaled), the new building would read distinctly taller, rising above its context. The street block is designed with a range of building heights between 4 and 8 storeys that rise and fall within each perimeter block, as well as opposite, producing a distinctly varied rather than uniform streetscape. The tall building would add to this variety of heights, although the revised material finishes will help visually tie the new building into the wider development, giving the townscape a coherency.
183. It is acknowledged that the extent of the additional height would be rather uneasy when seen in contrast to the four and five storey buildings immediately adjacent to the building in views along Green Street and Mulberry Walk. In these views, however, Harmsworth Quay looms large in the backdrop to the development: The considerable scale and distinctive appearance of the former printworks dominates the local townscape. Whilst the new building will rise briefly above the roofline of Harmsworth Quay, its appearance will be read as incidental, given the printworks' height and extensive bulk, and therefore of minor impact.
184. Elsewhere in the local context, such as Archangel Street, Quebec Way/Roberts Close and Albatross Way footbridge, the development would emerge above the foreground built form due to its additional height. However, it would not appear especially tall or overly dominant, but as a moderate change to the skyline and often obscured by tree cover during summer months.
185. Moreover, the development's appearance as a tall or taller building will be diminished or generally obscured with the implementation of the approved alterations and extensions to Harmsworth Quay and the consented development of the Artinvest Site, which is also for a large-scale building of considerable height and bulk. In effect, the proposed building will become one of several moderately tall buildings within this part of Canada Water. On balance, the proposed scale (height and massing) is therefore considered satisfactory in the local townscape.

Landscape contribution

186. The proposal delivers a pocket park as well as making land available for two way Printworks Street (discussed in more detail elsewhere in this report).

Point of landmark significance

187. The site is at a point of local landmark significance, being at the far end of Mulberry Walk at its junction with Printworks Street, which will become a pedestrian entry point through the Printworks building and into the new park proposed as part of the British Land Masterplan. As a moderately tall building, its height reflects the local significance of the location, being mainly visible within the adjoining streets and only marginally visible within the wider Canada Water area. Similarly, it is not so tall as to contribute to London's skyline, although its profiled roofline will nevertheless be engaging at the local level; and the site itself

is outside of all strategic and borough views. As a taller building within Canada Water, it sits within a local area increasing characterised by large scale and tall buildings, and as such, is not out of character, although the contrast in height with its immediate mid-rise neighbours is not altogether comfortable (as discussed in the preceding paragraphs of this report). Lastly, the high-rise development includes a publicly accessible pocket garden and widened public realm, and whilst the public does not have access to the top of the building, its use for communal facilities for the co-living residents is appropriate.

Highest architectural standard

188. Regarding its design, the moderately tall building is of sufficiently high architectural quality in terms of its appearance, materials and functional quality (subject to conditions), commensurate with its scale. Its co-living is exemplary, with commendable communal amenities and accommodation whilst its co-working is convincing. The position, modest scale and thoughtful detailing of the building does not generate an uncomfortable environmental impacts in the immediate area, whilst the arrangement of the ground floor uses and provision of street planting would ensure a highly positive relationship with the adjoining public realm. Lastly, the development would have no impact on the historic environment, being located a good distance away from any heritage assets, and overall would make a positive contribution to the wider townscape, given its location and engaging design. As such, the designs accord with policy P.17(3).

Relates well to its surroundings

189. For the reasons discussed above the proposal is considered to relate well to the existing and emerging context of this locality.

Positive contribution to the London skyline

190. The building is located within the Canada Water town centre, albeit towards its outer edge; nonetheless an area characterised by large-scale buildings, including the neighbouring former printworks building, and as an emerging area for tall buildings. The proposal would add to a loose cluster of existing and emerging tall buildings that is outside any strategic viewing corridor or important borough view. Furthermore the design will result in a high quality building which will make a positive contribution to the London skyline.

Free-to-enter publicly-accessible areas

191. A pocket park is included in the proposals. Public access will be secured in the s106 agreement.

Conclusion on massing, height, scale and tall building considerations

192. Overall and having taken account of the effects arising cumulatively with other existing, consented and planned tall buildings nearby, the development's design meets the policy criteria for a new tall building.

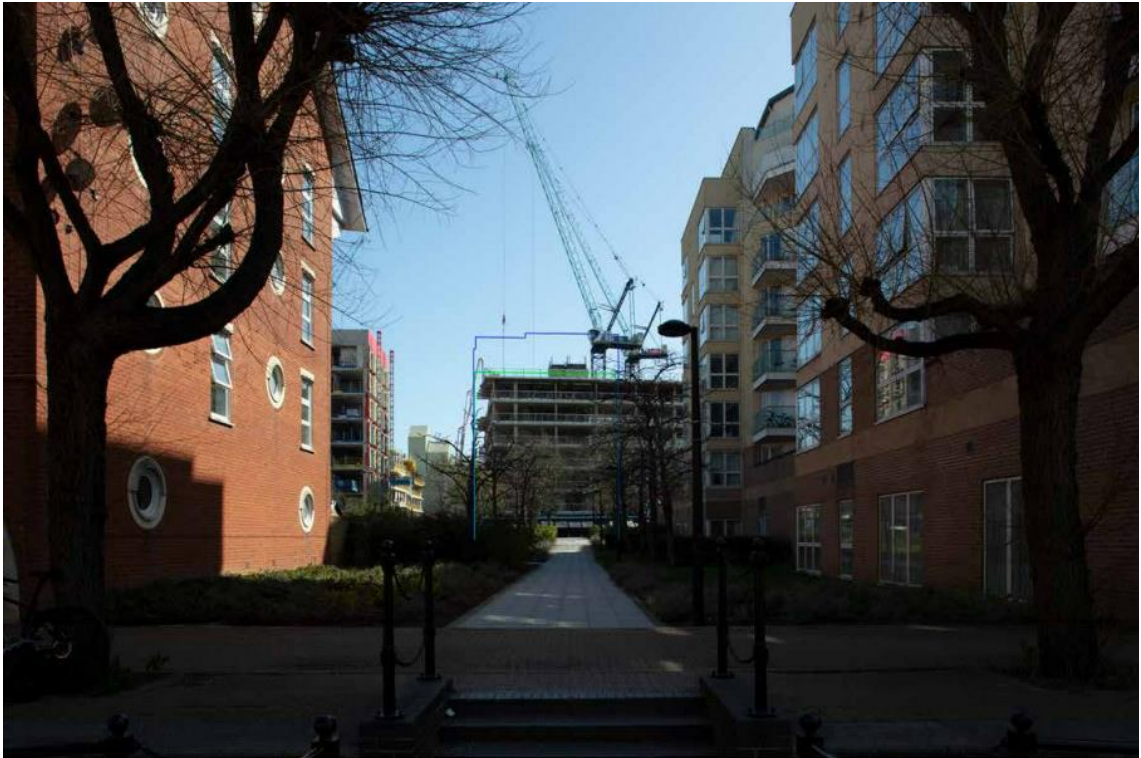


Image above: View from Albatros Way showing Block C in wire line blue (previous Block C approval shown in green) and approved British Land and Artinvest Buildings in orange

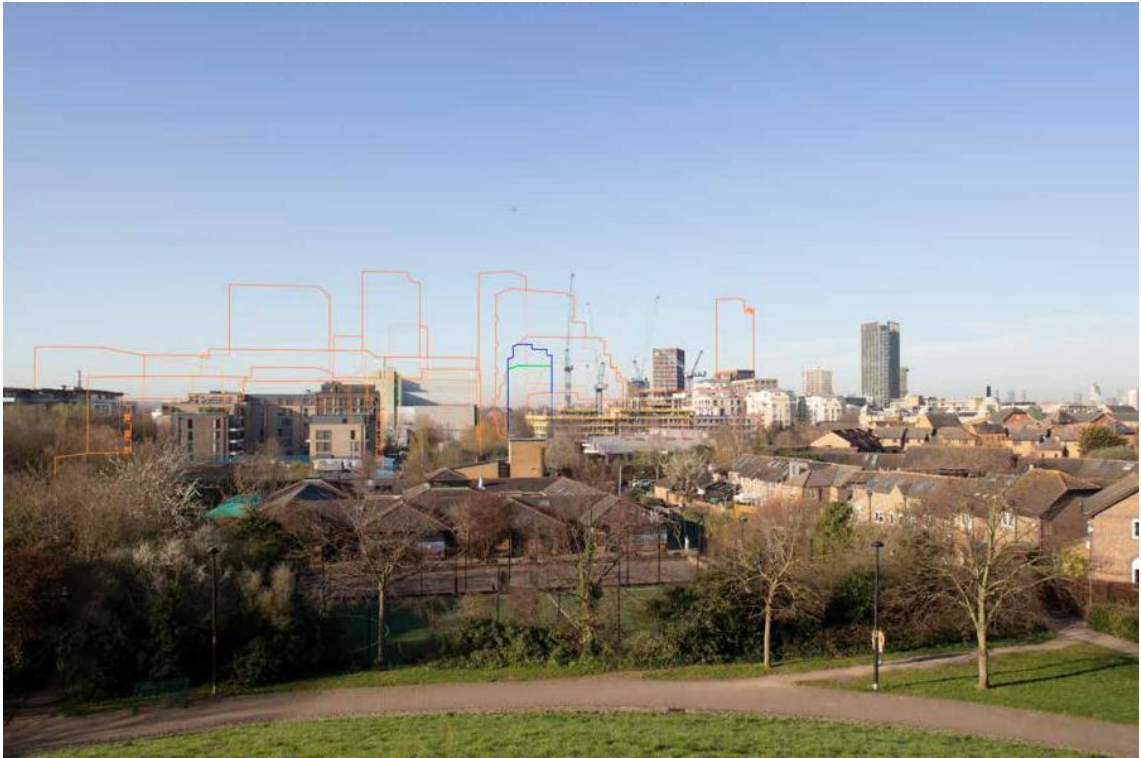


Image above: View from Stave Hill showing Block C in wire line blue (previous Block C approval shown in green) and approved British Land and Artinvest Buildings in orange

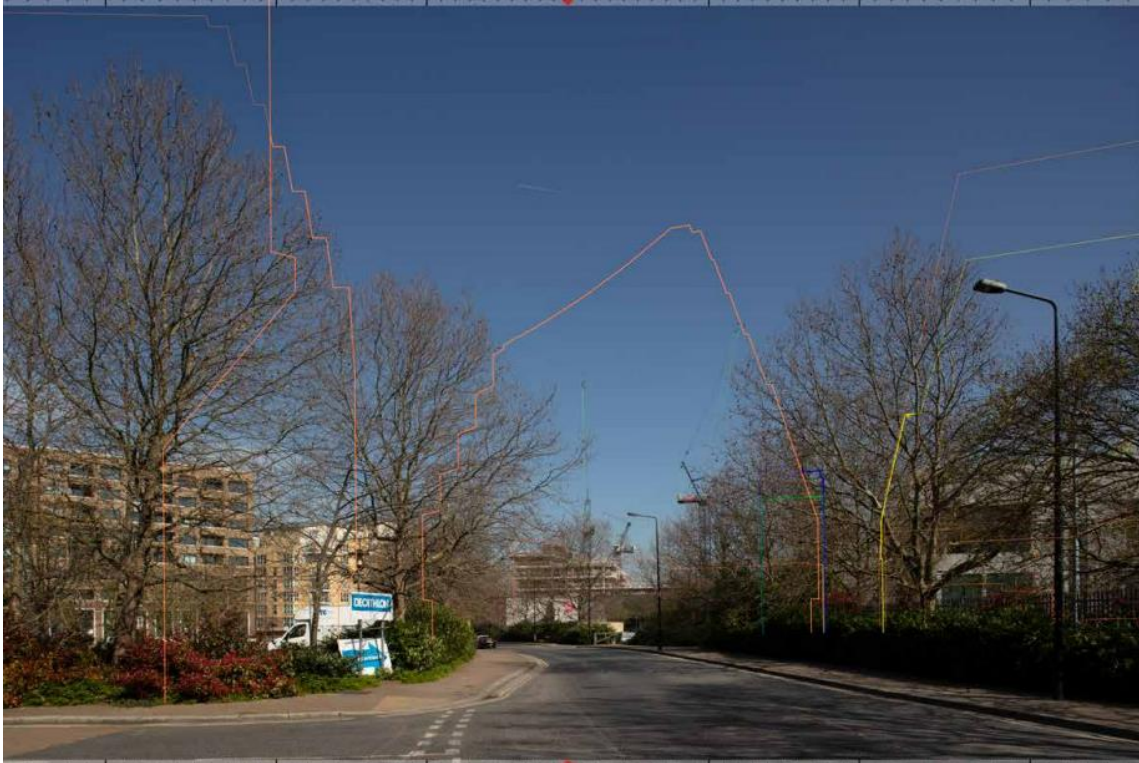


Image above:

View from Surrey Quays Road showing Block C in wire line blue (previous Block C approval shown in green) and approved British Land and Artinvest Buildings in orange

Architectural design and treatment

193. The proposed material pallet is brown/red tone bricks with white precast banding detail at soffit level, grey metal frame windows and feature panelling and red framework feature ground floor entrances.
194. Regarding the elevational designs, as referenced above, the architectural approach is to reduce the sense of massing and give the appearance of four slender abutting volumes. This is achieved through the articulation of the facades, using a combination of brickwork and curtain wall glazing. The four volumes are framed in brickwork with pronounced intervening brickwork piers that give a robust, verticality to the designs. The outer brickwork piers have stepped brickwork reveals, which add visual interest and robustness. The brickwork framed volumes are then visually separated from each other by full height glazed curtain wall slots.
195. The windows are organised into stacks and set within aluminium infill panels, enhancing the vertical design emphasis. The panels are perforated, adding a textured appearance. Those on the 2nd floor and above partly overlap with an openable section of each bedroom window; the perforations allowing natural ventilation whilst maintaining safety. The deep brickwork reveals, slot openings and perforated panelling also work well to provide solar shading. The façade details (incl. reveals, junctions and perforated screens) should be conditioned to ensure the articulation and finishes are compelling.

196. The materials palette and architectural language reflect those of the main student and residential Blocks A, B and C, making use of the same yellow stock and brownish/ red brickwork, grey aluminium metalwork (window frames and infill panels) and contrasting white banding. Each volume uses a single brick colour, with the two colours used on the diagonal, giving the appearance of a finer grained development in the street scene.
197. The white banding runs at floor slab or window header level and provides a contrast in colour and horizontal proportion. Conditions are recommended to control the materials pallet in detail include the depth of brick.
198. At street level, the frontages are well-designed with an open, engaging character and a suitably robust appearance. The brickwork piers are brought to grade on two of the volumes, grounding the building on a low brick plinth. For the third volume, located on the corner of Mulberry Walk/ Printworks Street, the brickwork volume is lifted above a double-storey, grid-framed façade. This contains the main entrances to the co-living on Printworks Street and co-working on Mulberry Walk. The frame is strongly expressed in red coloured metalwork and has a robust, semi-industrial character that references dock infrastructure. The design provides a strong visual contrast and legible feature to the building's corner.
199. At roof level, the same corner volume includes one of the two rooftop rooms, the brickwork framing continuing upwards an additional storey to enclose the rooftop communal gym. The other room is set on the diagonal and finished in a similar fashion, albeit with a slightly lower parapet height for differentiation, and contains the communal lounge. The design is effective in creating a stepped roof profile and distinctive building silhouette that also marks out the building on the street corner

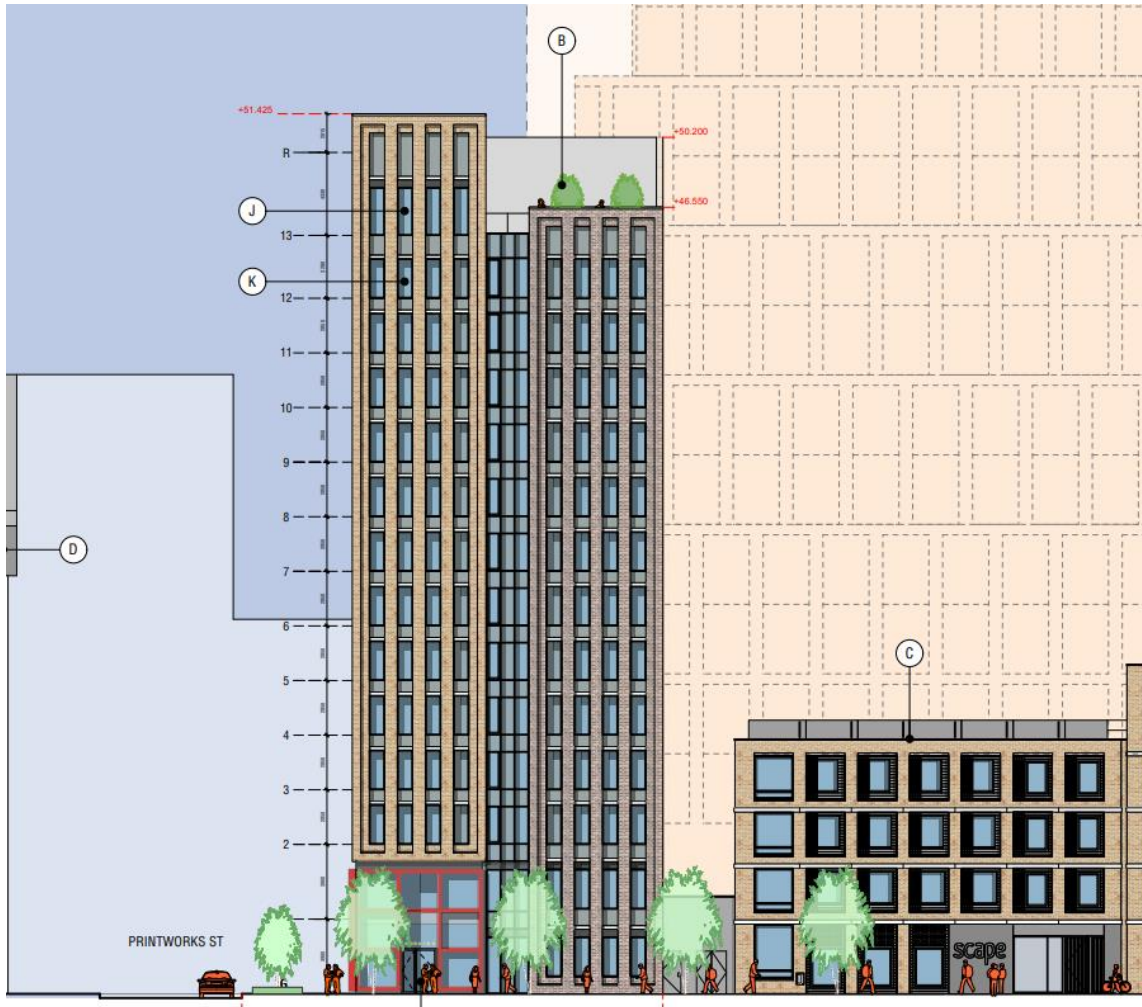


Image above: Proposed north elevation with Printworks Street to the left, the existing 'Scape' development to the right and the recently approved Artinvest block shown for context at the rear.

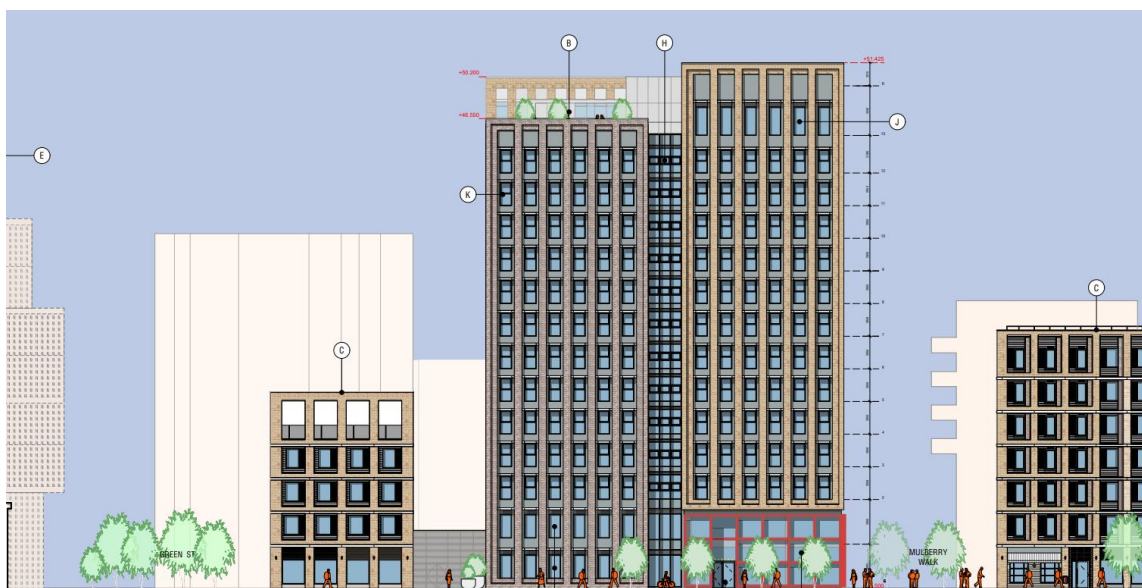


Image above: Proposed east elevation with the existing 'Scape' development to the left and right.

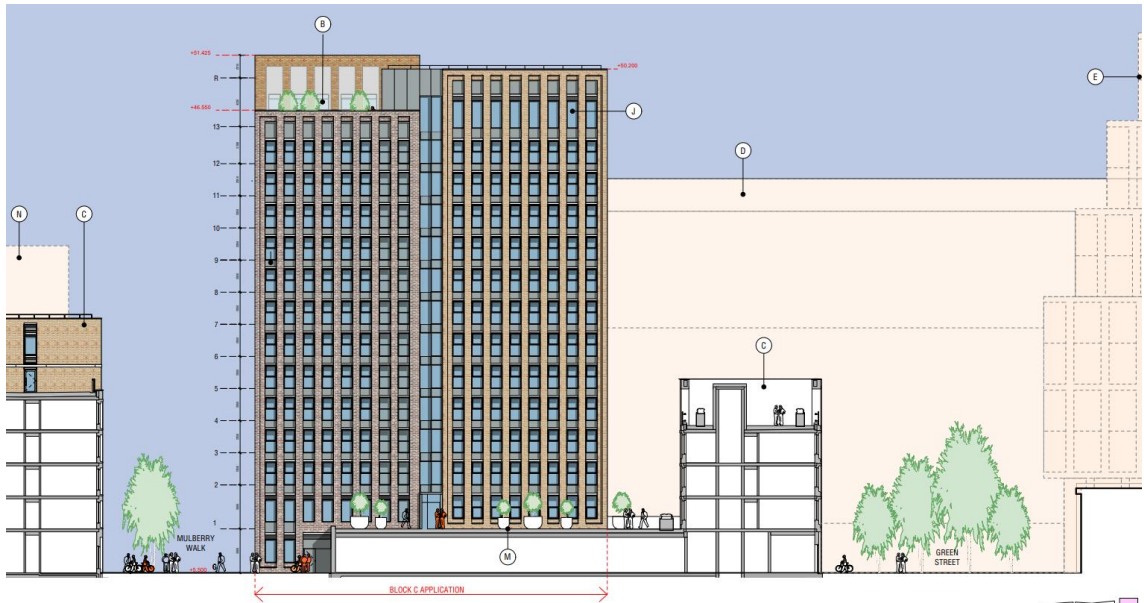


Image above: Proposed west elevation with the existing 'Scape' development to the right and left and the approved Artinvest block and Printworks building shown for context.



Image above: Entrance detail



- 1 - DARK BROWN / RED BRICK
- 2 - YELLOW BRICK
- 3 - PPC PERFORATED ALUMINIUM PANELS
- 4 - GLAZED CURTAIN WALL
- 5 - WHITE BANDS ABOVE WINDOWS

Image above: Materials pallet



Image above: CGI looking down Printworks Street from Quebec Way showing Block C in the context of the existing Scape student housing

200. Overall, the elevational architecture is well-composed, with a good sense of the base, middle and top to the building, and has a robust, engaging character with good use of brick and metal detailing. The design sits well within its local context, and as such is supported.

Heritage impact

201. Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires local planning authorities to consider the impacts of proposals upon a

conservation area and its setting and to pay “special regard to the desirability of preserving or enhancing the character or appearance of that area”. Section 66 of the Act also requires the Authority to consider the impacts of a development on a listed building or its setting and to have “special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses”. The NPPF (2023) provides guidance on how these tests are applied, referring in paras 199-202 to the need to give great weight to the conservation of the heritage asset (and the more important the asset, the greater the weight); evaluate the extent of harm or loss of its significance; generally refuse consent where the harm is substantial; and, where necessary, weigh the harm against the public benefits of the scheme. Para 203 goes on to advise taking into account the effect of a scheme on the significance of a non-designated heritage asset.

202. Regarding heritage, the proposed tall building would likely have no or only a negligible effect on the historic environment and the settings of heritage assets. There are no listed buildings or structures within the immediate vicinity, the closest being the Grade II listed swing bridge in Redriff Road to the south (450m); the Grade II listed former pumping station in Renforth Street to the west (450m); and the Grade II dock manager’s office in Surrey Quays Road to the southwest (450m); all too distant and with intervening context to have any undue impact. Similarly, the development would have no impact on the setting of the St Mary’s Rotherhithe Conservation Area, which is 700m away and has limited views out to the southeast due to its built up form. Lastly, the site is some 400m beyond the LVMF viewing corridor 5A.2 and therefore would have no effect on the view from Greenwich Park to Tower Bridge. Overall, the development complies with heritage policies.

Inclusive access

203. Policy D3 of the London Plan states that measures to design out crime should be integral to development proposals and be considered early in the design process. Developments should ensure good natural surveillance, clear sight lines, appropriate lighting, and logical and well-used routes. Policy P16 of the Southwark Plan reinforces this and states that development must provide clear and uniform signage that helps people wayfind and effective street lighting to illuminate the public realm.

204. The site is highly accessible on public transport, and by bicycle and on foot. The site has a PTAL of 6A, which represents a ‘very good’ level of accessibility to public transport. A range of public transport options is available to access the site, including multiple bus routes serving the immediately adjacent streets, and Underground services from the nearby Canada Water station. An Active Travel Zone (ATZ) assessment has been carried out and identified that there is a range of amenities within walking and cycling distance of the site, accessed by a permeable network of streets comprising a mixture of A roads, lower classification residential roads, and signed public footpaths.

205. The various inclusive access measures within the proposal would include:

- Proposed new external communal amenity areas with level surfaces for comfortable use by residents, staff and visitors;
- Inclusion of two accessible car parking spaces (located within 30m of the building entrance);
- Inclusion of storage spaces for large cycles, including tricycles and recumbent cycles;
- 10% of the private rooms are designed to be wheelchair accessible units;
- Access to two lifts for all residents
- Separate lift provided for the commercial café
- All access points into the building provide level access with Part M compliant opening widths accessible WCs provided at ground and first floor level to serve the public and communal spaces

206. The proposal is ambitious in its inclusive design principles creating a convenient and welcoming building and new public spaces that can be entered, used and exited safely, easily and with dignity for all.

Designing-out crime

207. Policy D11 of the London Plan and Policy P16 of the Southwark Plan require development proposals to reduce opportunities for crime and create and maintain safe internal and external environments.

208. As set out in the Access & Inclusivity Statement, the Design Team have been advised by accessibility specialists All Clear Designs, who have appraised the design at relevant stages of the design process to ensure that the best possible level of access and security will be achieved and that the proposals meet relevant legislation and recognised good practice guidance. The operational management strategy sets out how safety and security will be managed internally.

209. The Metropolitan Police's Secure by Design Officer has assessed the proposal and is confident that certification can be attained. To ensure certification is ultimately achieved, the imposition of a two-part 'Secured by Design' condition is recommended.

Public realm, landscaping and trees

210. London Plan Policy G7 and Southwark Plan Policy P61 recognise the importance of retaining and planting new trees wherever possible within new developments. London Plan Policy G5 requires major development proposals to contribute to the greening of London by including urban greening as a fundamental element of site and building design, and by incorporating measures such as high-quality landscaping (including trees), green roofs, green walls and nature-based sustainable drainage.

Landscaping

211. As the final block within the wider Mulberry site to be developed this proposal will knit into the recently completed public realm on the site (Mulberry Walk) and the

eastern end of Printworks Street. Additional hard and soft landscape will be provided on this section of Printworks Street immediately in front of Block C which will include tree planting. Within the red line boundary 5 accessible bays and 1 car club space provide flush access to the public realm (adjacent to Block A), 2 accessible bays relate to the proposed Building C, the other spaces relate to the surrounding buildings. The car club bay would be secured in the s106 agreement and the blue badge spaces secured by condition.

212. There is a level difference between application site and Printworks Street. The proposed soft landscape buffer takes up the level difference to Printworks Street, with custom planters beside the Co-living entrance providing opportunity for tree planting above underground services.

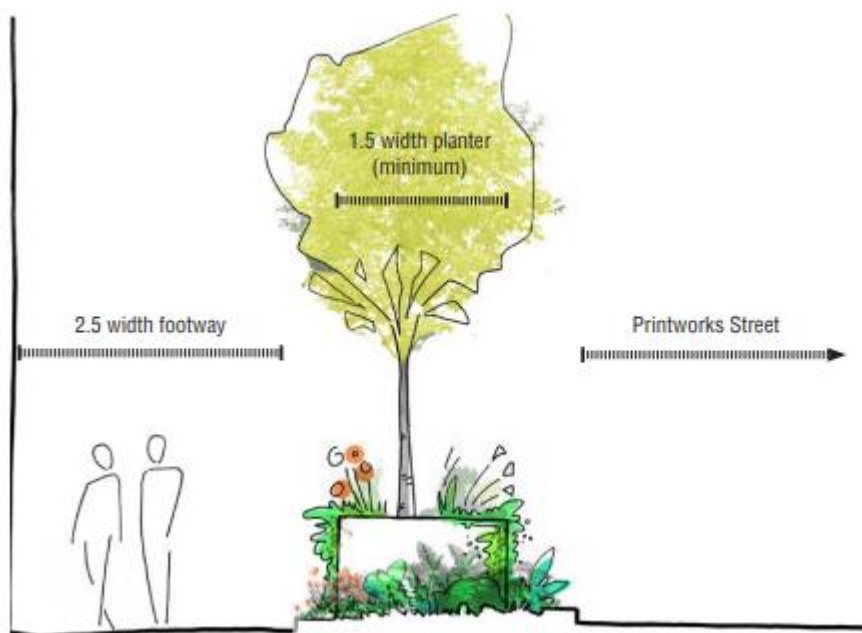


Image above:
Illustrative visual of proposals for the public realm in Printworks Street

213. As part of the public realm proposals for Block C, Scape are proposing to give over land from within their ownership to facilitate the widening of Printworks Street, extending the approved one way single carriageway to create a two way single carriageway. A financial contribution towards the works is also proposed. This would be secured in the s106 agreement.
214. In addition within the red line boundary there will be a pocket park located between Block C and the existing adjacent student block. Public access to this park would be secured in the s106 agreement.
215. Finally, in addition to the ground level public realm it is proposed to provide a soft landscape terrace on the 13th floor with multi stem trees and planting in raised beds.

Green infrastructure, ecology and biodiversity

216. Policy G5 of the London Plan states that urban greening should be a fundamental element of site and building design. It requires major developments that are predominantly residential to achieve an Urban Greening Factor (UGF) score of 0.4 and those that are predominantly commercial to achieve a score of 0.3.

217. The protection and enhancement of opportunities for biodiversity is a material planning consideration. London Plan Policy G6 requires development proposals to manage impacts on biodiversity and secure net biodiversity gain. This should be informed by the best available ecological information and addressed from the start of the development process. Southwark Plan Policy P60 seeks to enhance populations of protected species and increase biodiversity net gains by requiring developments to include features such as green and brown roofs, green walls, soft landscaping and nest boxes.

218. The proposal would achieve a UGF score of 0.42 through a combination of:

- Intensive green roofs to both roof terraces;
- A biosolar roof
- Tree planting in the public realm and at roof level
- Hedge planting in the pocket park,
- Soft landscaping in the public realm and at roof level
- Permeable paving

219. The layout of the flat roof allows for the provision of a biosolar roof (living roof with PVs above) as well as soft landscaped terraces which will contribute to ecology and biodiversity.

220. This application predates the National BNG requirements. However, in order to satisfy Southwark Plan Policy P60 the applicant has provided a Biodiversity Impact Assessment (BIA), which sets out that there would be a 14.30% net gain in habitat unit thus meeting the 10% policy target.

221. The Council's Ecologist and Urban Forester have reviewed the application and confirmed that the proposal is satisfactory subject to the recommended detailed landscaping conditions.

Archaeology

222. The proposed building would be constructed above an existing basement utilising a podium frame that has already been constructed under the 2013 consent. Consequently the proposal would have no additional impact on archaeology.

Transport and highways

Trip generation

223. Policy T4 of the London Plan requires development proposals to ensure the impacts on the capacity of the transport network are fully assessed and that any adverse impacts are mitigated. Policies P45, P49 and P50 of the Southwark Plan require developments to minimise the demand for private car journeys and demonstrate the public transport network has sufficient capacity to support any increase in the number of journeys by the users of the development.
224. Given the lack of on-site parking along with the various public transport options in the area, cycle links and cycle parking, the day to day trips associated with the proposed accommodation would predominantly be by sustainable travel modes including on public transport, by bicycle and on foot. The assessment anticipates the following trip generation.

Mode of Travel	AM Peak Hour (08:00-09:00)			PM Peak Hour (17:00-18:00)			Daily		
	Arr.	Dep.	Two-way	Arr.	Dep.	Two-way	Arr.	Dep.	Two-way
Underground	5	19	24	12	11	23	141	141	282
National Rail	1	2	3	1	1	2	17	17	34
Bus	2	8	10	5	4	9	58	58	116
Taxi	0	0	0	0	0	0	3	3	6
Motorcycle	0	1	1	1	0	1	6	6	12
Car Driver	0	0	0	0	0	0	3	3	6
Car Passenger	0	0	0	0	0	0	3	3	6
Cycle	1	4	5	2	2	4	26	26	52
On foot	1	3	4	2	2	4	24	24	48
Total	10	37	47	23	20	43	281	281	562

225. The proposed development will generate a significant net reduction in trips compared to the extant 2013 permission office scheme, 454 less daily two-way trips. Nevertheless the applicant has agreed to a financial contribution towards sustainable transport improvements to mitigate the impact of the development. The contributions identified in the 'planning obligations' section of this report are considered to be necessary to mitigate the specific impacts of the residential occupation of the site.

Impact of move-ins and move-outs

226. It is recognised that there could be significant trips associated with tenants moving in and out of the premises. The operational management plan states that bookings can be made online and in-house with the help of the on-site staff.
227. Once a booking is made, residents are contacted by the management team to make arrangements for moving-in, and to enquire about any particular resident needs and preferences. Living by Scape have a number of additional packages available to help residents with soft furnishings and kitchenware to suit the room (which reduces the requirement to use larger vehicles for moving in and out).
228. The majority of move ins and outs will take place during daytime hours (2-5pm).

Servicing and deliveries

229. London Plan Policy T7 deals with servicing and delivery arrangements during construction and end use. With respect to end use, the policy requires provision of adequate space for servicing, storage and deliveries to be made off-street, with on-street loading bays only used where this is not possible.
230. The application is accompanied by a Delivery and Servicing Plan (DSP), prepared by Steer, which sets out the proposed servicing strategy for the development together with the measures that will be required to manage and monitor delivery and servicing activities. The main aim of the DSP is to minimise the impact of delivery and servicing activity on the local highway network during peak times, detail of how manoeuvring within a managed and secure area will be undertaken, in addition to improving highway safety.
231. As set out in the DSP, it is proposed for deliveries and servicing to be undertaken on site from Mulberry Walk, which is a pedestrianised, private service road. This approach is a continuation of the implemented 2013 permission servicing strategy. Following the implemented 2013 strategy, the proposal does not propose to provide a dedicated loading bay for the site, instead Servicing vehicles will be permitted to route along Mulberry Walk and stop outside the building to load/ unload. Controlled access bollards on Mulberry Walk will be managed by the facilities management team. Servicing vehicles will be permitted to route through the controlled access bollards, along Mulberry Walk to exit the site onto Canada Street. This will enable vehicles to enter and exit the public highway in forward gear
232. The 135 proposed shared living units can be expected to generate a total of 8.1 daily delivery and servicing trips during weekdays and 5.4 daily trips at the weekend. The commercial unit is forecast to generate a maximum of two daily servicing trips. Assuming a 12-hour day, this level of servicing activity associated with the proposed development equates to less than one vehicular movements an hour. This level of activity can be comfortably accommodated along Mulberry Walk.
233. The on-site facilities team will be responsible for the management of all deliveries to/from the shared living units. A parcel and post room is provided on the ground floor, behind the reception desk for residents to collect day-to-day deliveries. Articulated vehicles will not be required to access the building for day-to-day servicing operations.
234. A final DSP should be secured by Condition. A DSP bond will be retained for Major developments and a fee taken for the purposes of monitoring whether or not the DSP targets identified are realised. This should be secured in the s106 agreement.

Two Way Printworks Street

235. Printworks Street has been approved as a one-way street because it was the only deliverable option within the constraints of the BL application site boundary. Delivery of a two way street would require a joint approach and land to be made available from all adjacent landowners (currently this would be British Land, AIRE and Scape). Notwithstanding the BL Outline Permission it has always been a strong desire of the Council and TfL to deliver a two way Printworks Street as this will have significant benefits for TfL bus operations as well as minimising the number of vehicles needing to enter via Quebec Way.
236. The Applicant for this proposal (Scape) has been engaging with adjoining landowners British Land and AIRE to design a coordinated two-way street. Plans have been prepared as part of those discussions to demonstrate that there is sufficient room between the Printworks Building that forms part of the BL Masterplan, Building B on the AIRE site and Block C (subject of this application) to accommodate a two-way street which provides sufficient width to integrate appropriate amenity considerations such as; safe cycling provision, attractive and safe movement space for pedestrians and public realm space including provision of soft planting, trees and necessary street furniture.
237. The s106 agreement that forms part of the OPP for AIRE (21/AP/2655) secures the necessary land required from AIRE to deliver a two way street as well as proportionate sum towards the cost of delivery.
238. The current proposal for this site has been designed to accommodate the land required to allow two-way traffic on this section of Printworks street. The applicant has agreed to make the land available for this purpose and to contribute towards the cost of constructing this street. This should be secured in the s106 agreement.
239. There would be clear benefits in delivering the two-way street early in the development process, in order to reduce later costs and disruption of widening the carriageway to facilitate two-way working. The s106 should therefore require the developer to use reasonable endeavours to make land available to allow the two way street to be delivered upon implementation of this permission.

Refuse storage arrangements

240. This application was accompanied by an outline Operational Waste Management Plan. For the co-living element of the scheme, storage facilities will be provided within the site for general waste, recycling and food waste at ground floor level. Internally, the shared living units will be provided with a two compartment pull out bin in the communal kitchens and rooms, and a freestanding compost bin. The accessible rooms have freestanding bins. Transportation of the waste storage to their collection area on designated collection days will be undertaken by the facilities team for the Site. It is proposed that a private contractor will be employed to collect waste (likely to be twice per week). Implementation of the proposed strategy will be secured by way of a submission of a Delivery and Servicing Plan.

241. Vehicular tracking of the servicing access route to/from the Development has been provided within the submitted Transport Assessment. Reflecting the 2013 scheme, refuse collection vehicles will be permitted to route along Mulberry Walk and stop outside the building to load. Controlled access bollards on Mulberry Walk will be managed by the facilities management team. Refuse collection vehicles will be permitted to route through the controlled access bollards, along Mulberry Walk to exit the site onto Canada Street in forward gear.
242. Whilst it is the intention that the waste will be collected by a private contractor and not by the Council's Residential Waste Collection Service it has been necessary for the applicant to demonstrate compliance with Southwark's Waste Collection Guidance in terms of storage capacity and collection arrangements. This is necessary as the Council has a statutory duty to collect residential waste. As it has been demonstrated that a refuse vehicle can safely access the site and that a Facilities Management Team would take bins to a collection point (within 10m drag distance of the vehicle stopping point) the Council's Refuse Team have raised no objection to the proposal.
243. Commercial waste will be stored in the bin store north of Block C which follows the approved 2013 permission (13/AP/1429). Commercial refuse will also be privately collected. Arrangements will be put in place to collect the waste at a pre-arranged day and time. It is assumed the commercial waste and servicing arrangements will be further developed once the fit out is confirmed and details secured by way of a Service and Delivery Plan as required by the recommended condition.

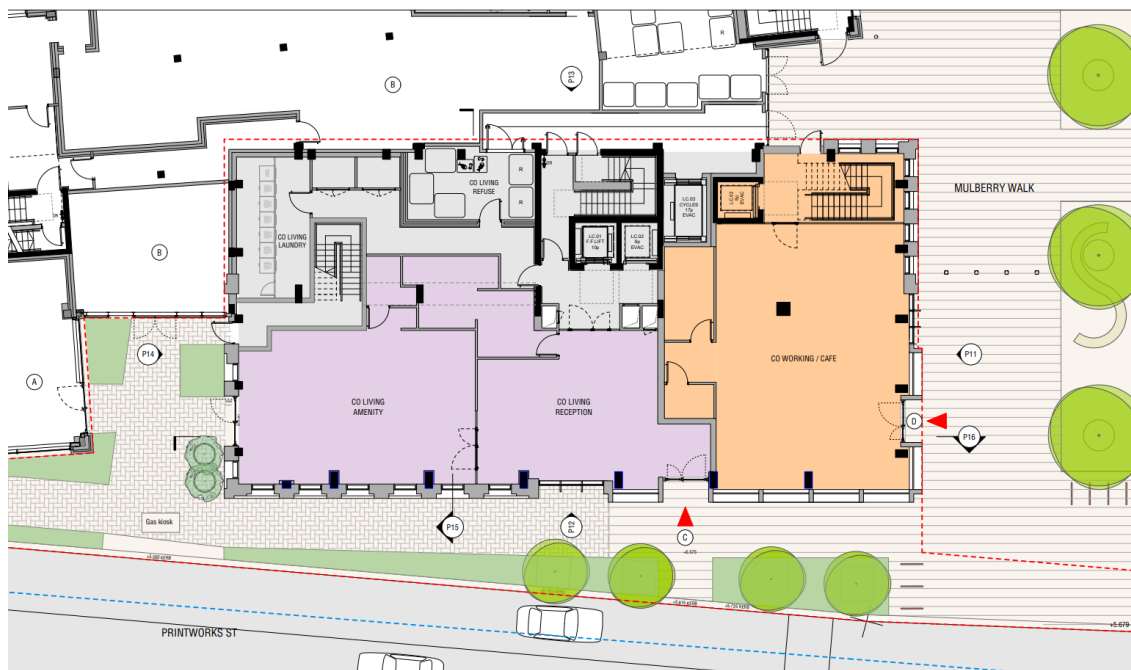


Image above: Proposed ground floor layout showing refuse storage locations together with controlled (bollard) access to Mulberry Walk for collection vehicles.

Car parking

244. Policy T6 “Car Parking” of the London Plan requires developments in locations with existing and future high public transport accessibility to be car-free, save for adequate parking for disabled people. Specific requirements for different uses are set out in Policy T6.1 through to Policy T6.4, while Policy T6.5 deals with non-residential disabled persons parking.
245. Southwark Plan Policy P54 “Car Parking” echoes the London Plan, promoting car-free development in zones with good public transport accessibility. It requires car-free non-residential proposals in CAZ locations, and for any disabled parking to be provided on-site and supported by EVCPs.
246. This development would be car free except for blue badge provision.

Disabled car parking provision

247. Containing 135 studios (the equivalent of 75 single homes), this development would be expected to provide 4 blue badge parking spaces on site applying the London Plan standards.
248. The Southwark Plan requires a maximum of one car parking space per wheelchair accessible unit (which for this application would equate to a maximum of 14), depending on:
- the anticipated demand for parking spaces,
 - the tenure of the development;
 - The quality and accessibility of the local public transport network; and
 - the access to local amenities.
249. The proposed development would be car free except for 2 on street blue badge spaces, which would be provided on Printworks Street. Blue Badge parking provision is commensurate with other co-living/ purpose built shared living sites across London including;
- Southwark - Penarth Street 283 co-living units with 3 blue badge spaces
 - Scape Living 1 Blackhorse Lane, LB Waltham Forest - 272 rooms – 2 on-site disabled spaces
 - The Collective Chatfield Road, LB Wandsworth - 182 Co-living Rooms and 81 room hotel – 3 on-street disabled spaces
 - The Collective Garratt Mills, LB Wandsworth - 292 Co-living Rooms - 2 on-site disabled spaces

The proposal for 2 blue badge spaces for 135 shared living rooms is a much higher provision than the examples above. Both spaces should be equipped with Electric Vehicle Charging Points. Given the high PTAL rating of the site and the fact that Canada Water Station is fully accessible, this level of provision is acceptable.

This provision will be secured in the s106 agreement.

Cycle parking

250. London Plan Policy T5 “Cycling” sets minimum cycle parking standards for different uses. Southwark Plan Policy P53 “Cycling” sets out a higher requirement than the London Plan standards. Cycle parking standards that most closely represent shared living accommodation within the London Plan (2021) and Southwark Local Plan (2022) are studio rooms, which are required to provide long-stay cycle parking at a ratio of one space per unit.
251. The proposals incorporate high-quality long-stay cycle parking facilities at basement level with a dedicated entrance and cycle lift, accessed from Mulberry Walk. Long stay cycle parking is provided in line with policy, with 1 space per shared living unit. In total, 135 No. long-stay cycle parking spaces are proposed, as follows:
- Residential Long Stay : 135 spaces, of which:
 - Accessible Sheffield stands: 6 (5% of total)
 - Sheffield stands : 27 (20% of total)
 - Two-tier cycle spaces : 102 (75% of total)
252. Short Stay cycle parking for six cycles will be provided as three Sheffield stands within the public realm.
253. A standalone cycle store has been provided for the commercial unit (285m²). Two Sheffield stands (four spaces) have been provided internally.

Improving access to cycle hire options

254. Given that the town centre is a key destination and the development would introduce up to 5 new FTE employees to the site as well as up to 135 occupiers when all rooms are occupied, the applicant has agreed to contribute £110,000 towards investment in the monitoring and management of TfL (Santander) docking stations within the vicinity of the site. This will be secured in the Section 106 Agreement, this contribution would meet the requirements of Policy T5 of the London Plan and Policy P53 of the Southwark Plan.

Legible London signage

255. The applicant has agreed, at the request of TfL, to make a contribution of £22,000 towards providing new and refreshed Legible London signage. This will be secured in the Section 106 Agreement.

Healthy Streets

256. London Plan Policy T2 requires development proposals to demonstrate how they will deliver improvements that support the ten Healthy Streets Indicators in line with TfL guidance.
257. Some ways in which the proposal would support the ten indicators are:

- It would be car free save for 2 wheelchair parking spaces, thus promoting walking, cycling and use of public transport;
- It would provide investment in sustainable transport facilities and services to commensurately mitigate the impact on existing infrastructure;
- it would enhance public realm around the site as well as within the surrounding network of streets; and
- it has been designed to minimise air and noise pollution.

258. The Active Travel Audit submitted by the applicant identified that level, good quality footway provision is the largest barrier to active travel within the vicinity of the site.

259. In accordance with Healthy Streets and having had regard to the findings of the applicant's Active Travel Audit, the Transport Policy Team has sought various contributions from the applicant towards a range of highway safety measures together with improvements to pedestrian/cycle routes in the vicinity of this development. The specific set of works is detailed in the 'Planning Obligations: Summary Table' in a later part of this report.

Transport summary

260. Having considered all transport and traffic related implications, the Council's Highways, Transport and Waste Management Teams are satisfied with the proposal. The scheme would minimise vehicle movements by prioritising use of public transport, walking and cycling, and by encouraging consolidation of deliveries.

Environmental matters

Construction management

261. In order to ensure that increases in traffic, noise and dust associated with the demolition and construction phases of the development are minimised, a Construction Environmental Management and Logistics Plan should be secured as an s106 obligation. The plan will need to take account of any cumulative impacts with the adjacent developments taking place at the same time.

Flood risk, resilience and safety

262. The proposal subject of this application forms part of wider works as covered under approved under planning reference 13/AP/1429. This original planning application included a Flood Risk Assessment produced by RMA Environmental (ref: RMA-C1225), which described an outline drainage strategy for the proposed development. Following receipt of the planning permission for the proposed wider development, the surface water drainage strategy was further developed by Halcrow. This detailed drainage strategy included provision for Block C and was submitted and approved in July 2014 (planning ref: 14/AP/1013). The approach

taken to flood risk and sustainable drainage as part of this current application reflects the position established by the wider consent.

263. The site is in Flood Zone 2 and is located within an area benefitting from flood defences. The applicant's Flood Risk Assessment was updated to respond to comments raised by the Councils Drainage team and the GLA. The report sets out that the site is at low risk of groundwater flooding and only a small portion of it is at risk of surface water flooding.
264. It is proposed to discharge the foul water flows from the proposed development to the foul water network of the wider Former Mulberry Business Centre development. Foul flows from the wider development are then discharged to the Thames Water foul water sewer in Quebec Way.
265. The proposed development can be drained effectively for all storm events including climate change and does not affect flood risk outside of the site.
266. In terms of flood resilience and safety, the Council's Flood Risk Management Team has assessed the applicant's Flood Risk Assessment and are satisfied.
267. The Environment Agency has reviewed the applicant's Flood Risk Assessment and considers it to be acceptable. Compliance with the Flood Risk Assessment will be secured by way of a condition, and a pre-commencement obligation will be imposed requiring submission of a Flood Warning and Evacuation Plan.

Sustainable urban drainage

268. The applicant's Drainage Strategy, which is contained within the applicant's Flood Risk Assessment, proposes surface water runoff from the proposed development is collected via a series of green roofs, rainwater pipes, channel drains, and permeable paving. All surface water flows are conveyed via a network of subsurface pipes to be discharged unrestricted from the site at two separate points – at the northern and southern boundaries. The surface water drainage from the proposed development connects to the surface water drainage network of the wider Former Mulberry Business Centre development. Beyond the site boundary, surface water flows from the site are combined with surface water runoff from the wider development and are conveyed to the geocellular attenuation tank, providing a minimum of 400m³ of storage. Following this, surface water runoff is pumped at a maximum rate of 84L/s through the site to the eastern boundary of the Former Mulberry Business Centre development. From here, flows are discharged to the Thames Water surface water sewer network at the existing Thames Water manhole

The proposed surface water drainage system can effectively control all runoff generated within the site and maintain the agreed discharge rate for the overall Former Mulberry Business Centre development, without increasing flood risk elsewhere. Flows from the wider development are restricted to 84 L/s, as approved under planning references 13/AP/1429 and 14/AP/1013, and are discharged to the Thames Water surface water sewer in Canada Street.

269. Maintenance details for the SUDs features (permeable paving and green roofs) has been provided.

270. It is acknowledged that this proposal does not meet the requirements of the London Plan and the Southwark Plan when the proposed development is viewed in isolation. However, when assessing the proposed drainage as part of the approved drainage strategy for the wider Former Mulberry Business Centre development, it is believed that the proposed development meets the principles of the local guidance by discharging from the wider development site at the agreed rate of 84L/s.

Two conditions are recommended, one requiring compliance with the Flood Risk Assessment submitted, and the other requiring submission of a verification report prior to occupation. Given that the drainage strategy to be adopted for this site intrinsically links the development on Block C to the remainder of the Former Mulberry Business Park this connection and long term maintenance should be secured within the s106 Agreement.

Land contamination

271. The application was accompanied by a Geo environmental Desktop Study, which the Council's Environmental Protection Team has assessed and deemed acceptable. The study confirms that ground investigations, assessments and a Remedial Strategy have previously been undertaken for the surrounding area as part of the 2013 planning application, which included the Block C area. As such, further investigations are not considered to be necessary. A separate Remedial Strategy and Verification Report will be required for Block C to discharge planning conditions relating to this development specifically.

Basement-related impacts

272. This application includes a basement which has already been constructed as part of the 2013 permission. The basement will be shared with Block A which is already complete. As no further works are proposed to the basement there is no requirements for additional assessments in this regard.

Wind microclimate

273. London Plan Policy D9 requires all tall building proposals not to cause changes to the wind environment that would compromise comfort and the enjoyment of open spaces around the building and in the neighbourhood. Southwark Plan Policies P14 and P56 require wind effects to be taken into consideration when determining planning applications, as does Policy P17 where the proposal is a tall building.

274. A wind microclimate assessment was submitted as part of the 2013 application. This previous assessment provides the new baseline conditions for the existing site. The conclusions from the 2013 assessment were:

- The proposed development is not expected to have any significant impact on pedestrian level wind conditions with regards to pedestrian safety, with conditions expected to remain rated as safe for all users.
- Thoroughfares within the site are expected to be suitable for pedestrian access to, and passage through, the proposed development.
- The commercial entrance may be slightly windy, but tolerable, for pedestrian ingress/egress. All other entrances to the proposed development are expected to enjoy suitable conditions for pedestrian ingress/egress and retail frontages are expected to be suitable for window shopping.
- Recreational spaces are generally expected to enjoy suitable conditions for planned activities, including outdoor seating across the central area of the main avenue and most of the central courtyards and outdoor cafe area.
- Wind conditions at the roof-top terraces are generally expected to be suitable for planned recreational uses, including long periods of outdoor sitting at the seating areas during at least summer. Inclusion of appropriate porous screens along the tree lines would likely extend these amenable conditions, at benches located close to the screens, into spring and autumn.
- The proposed development is not expected to have any significant impact on the pedestrian level wind conditions within the surrounding area.
- No significant cumulative effects with the future surrounding developments are expected.



Image above: Wind conditions created by the 2013 planning permission (current baseline conditions)

275. This application was accompanied by an updated Wind Microclimate Report (prepared by the BRE). An updated report was submitted because of the proposed increase in height and change to the surrounding context since approval of the 2013 permission. The report concludes that:

- The ground level wind conditions around the proposed Block C building are expected to be suitable for the intended pedestrian activities at all footpaths, walkways, and public realm areas.
- The wind conditions at the main and ancillary entrances are expected to be suitable for entrances.
- The wind conditions on nearby roads are not expected to be adversely impacted by the proposed development.
- The wind conditions on the roof terraces are expected to be suitable for long-term sitting during the summer and for standing and strolling during the winter.

- The cumulative impact of the nearby British Land Plot L buildings and the Art Invest buildings on the wind microclimate around the Block C building are expected to be negligible
- The cumulative impact of the Block C building on the wind microclimate around the British Land Plot L buildings and the Art Invest buildings has been shown to be negligible.

Comfort Category	Colour
Frequent Sitting	Grey
Occasional Sitting	Blue
Standing	Green
Walking	Yellow
Uncomfortable and/or Unsafe	Red

Colour coding for pedestrian comfort categories

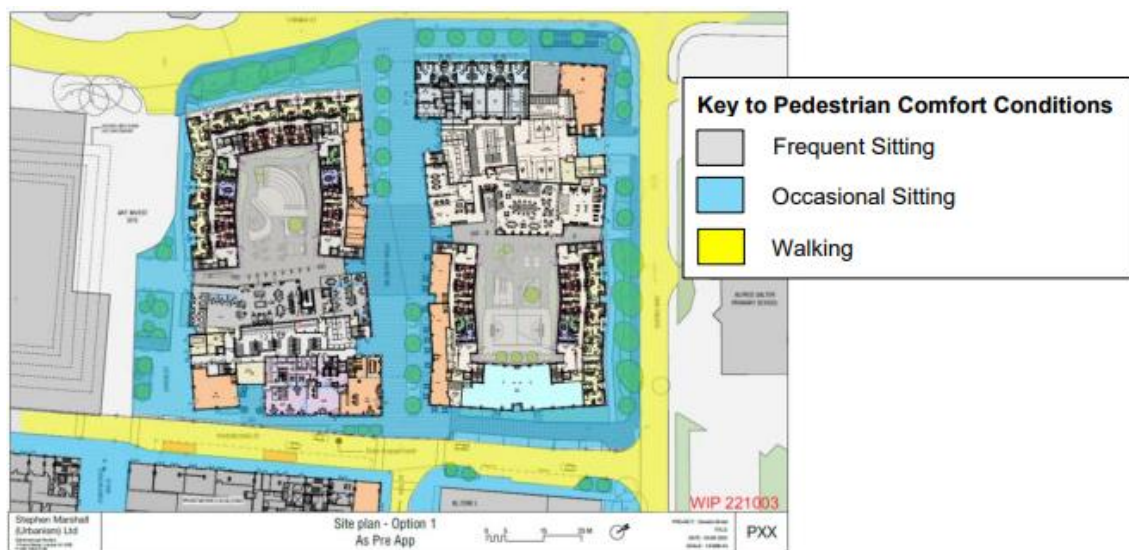


Image above: Expected wind conditions during the summer season

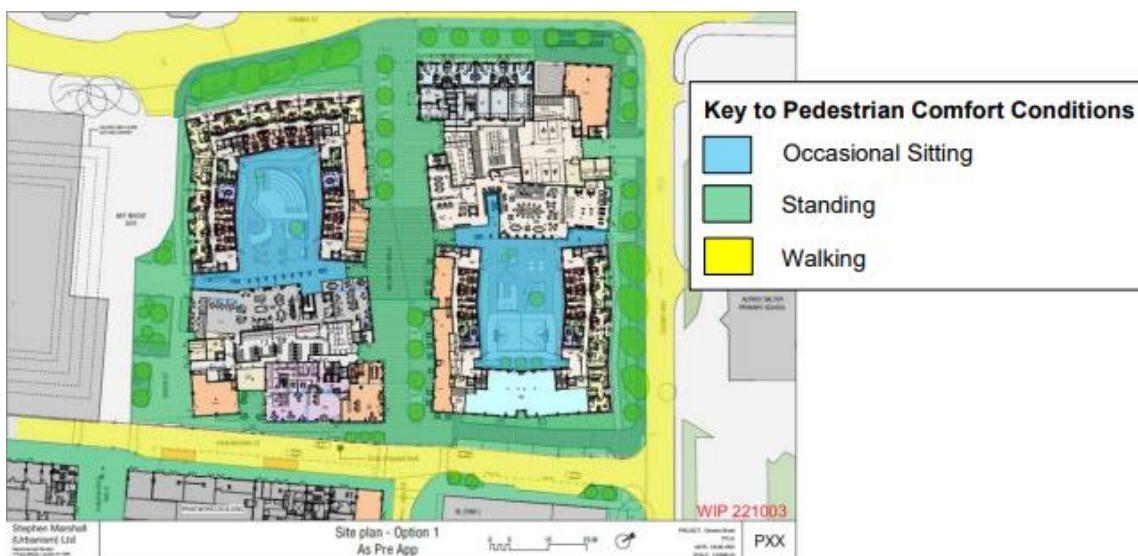


Image above: Expected wind conditions during the winter season

276. As the above images show the external amenity areas and public realm will meet pedestrian comfort levels as appropriate for their purpose and season.
277. It is expected that the wind conditions on the Block C roof terraces will be suitable for Walking and Standing throughout the year. During the summer months, and also for parts of the Spring and Autumn, the conditions are likely to be suitable for Occasional or Frequent Sitting (the most wind-sensitive pedestrian activity). During the winter, the conditions are unlikely to be suitable for Sitting for much of the time.

Wind Cumulative Impact

278. The surrounding area has been subject to significant change and a number of strategic developments have been approved on neighbouring sites since the 2013 planning permission was granted for the wider former Mulberry Business Centre (ref 13/AP/1429). Key developments include the outline planning permission granted for the British Land site (the Canada Water Masterplan) immediately to the southeast of the site and planning permission for the Art Invest site (commercial masterplan) immediately to the southwest as shown in the image below.



279. The submitted assessment considers the impact of recently approved planning permissions and concludes that the cumulative impact of the nearby British Land Plot L buildings and the Art Invest buildings on the wind microclimate around the Block C building and the impact of the Block C building on the wind microclimate around the British Land Plot L buildings and the Art Invest buildings has been shown to be negligible in all cases.
280. The report concludes that no wind mitigation measures are considered to be necessary for the ground floor pedestrian areas or roof terraces.

Air quality

281. An Air Quality Assessment was submitted with the application, which considers the air quality impacts arising from the construction and operational use of the development, taking into account all relevant local and national guidance and regulations
282. In terms of the construction phase, the assessment sets out a range of mitigation measures which include but are not limited to undertaking daily visual inspections of dust soling; ensuring an adequate supply of water is available onsite for effective dust suppression; using enclosed chutes and conveyors and cover skips; ensuring all vehicles engines are switched off when stationary with no idling; erecting solid barriers around dusty activities or the site boundary; and removing material that have them potential to produce dust from the site as soon as possible. A full Construction and Environmental Management Plan should be secured by Condition.
283. The proposed energy strategy is an electric system comprising of Air Source Heat Pumps (ASHPs) and Photovoltaic Panels (PVs) as well as a connection to an existing energy centre comprising of gas boilers and CHP.
284. The Air Quality Assessment concludes that, subject to the proposed mitigation measures, the effects on air quality during construction and operation are considered to be negligible. The Council's Environmental Protection Team has reviewed the Air Quality Assessment and raised no objection.

Agent of change

285. Where new residential and other sensitive uses are proposed close to existing noise- and other potentially nuisance-generating development, Policy D13 of the London Plan requires the proposal, as the incoming 'agent of change', to be designed to mitigate and manage any impacts from existing sources on the future users/occupiers. Developments should be designed to ensure that established noise and other nuisance-generating uses remain viable and can grow without unreasonable restrictions placed on them.
286. This site is located within a dense urban area, close to Canada Water Town Centre. There are existing residential and commercial land uses in the immediate vicinity as well as proposals to regenerate the immediate surroundings, bringing forward a mix of residential, commercial and leisure uses. The submitted Noise and Vibration Assessment addresses 'agent of change' principles taking into account the existing and emerging context.
287. The assessment concludes that whilst there are periods of the day when noise from existing commercial uses in the locality is audible, when taken in the context of the ambient acoustic environment, noise from commercial uses are not assessed to be dominant.

288. As discussed earlier in the noise section of this report an application has recently been submitted seeking planning permission for conversion of the Former Printworks Building into a mixed use office and cultural venue. The range of events that are proposed to take place from the venue include large scale, late night music events. As part of that application detailed acoustic information has been submitted in order to demonstrate that those events can take place without resulting in an unacceptable level of noise and disturbance that would cause harm to residential amenity. As part of that application the onus is on the applicant to demonstrate that residents of nearby existing and committed residential schemes would not be subjected to unacceptable noise pollution.
289. To conclude, for the reasons set out above and in other relevant sections of this report, it is considered that the proposal has been designed to ensure that the technical considerations such as adequate servicing, ventilation, mitigation of noise and vibration have been robustly considered. Subject to the recommended conditions, the development will be attractive and usable by the intended future occupiers in accordance with Policy D13 and there would be no conflict between the proposal and existing and future land uses in the immediate vicinity.

Light pollution

290. With respect to light pollution from interior sources, significant effects would result from the occupation of the proposed building.
291. With respect to light pollution from exterior sources, any lighting would be restricted to the standard lighting required in the communal external spaces and public realm required for security and enjoyment, there are no additional or unusual lighting proposals. As such, the proposal would not result in overspill harmful to residential amenity.
292. In summary, the proposal does not raise light pollution concerns. A condition to control the lighting levels is recommended.

Fire safety

293. Policy D12 of the London Plan expects all development proposals to achieve the highest standards of fire safety and to this end requires applications to be supported by an independent Fire Strategy, produced by a third party suitably qualified assessor.
294. A Fire Strategy was submitted with the application. Among other things, the Fire Strategy confirms that:
- The building would be served by separate commercial and residential stairs
 - The residential element of the building would be served by two stairs for means of escape and fire service operations;
 - The corridors that lead to both stairs on each floor would be separated, and that both of these corridors would have mechanical smoke ventilation;

- The lifts would stop at ground floor level and would not be connected to the basement level;
- The basement will be served by two separate stair cores and be sprinkler protected;
- The building would contain a single evacuation lift and fire fighting shaft with separate firefighting stair which is acceptable due to the floor area of each floor being less than 900sqm;
- Swept path tracking details show that fire engines can gain access to the site;
- Dry riser in the stair core will be provided;
- A “stay put” policy would apply for the rooms, but a “simultaneous evacuation” strategy would apply for all other ancillary areas (such as the kitchens);
- Appropriate active fire protection system would be installed, including fire detection and alarm, emergency lighting and signage, sprinklers and smoke control systems;
- An evacuation lift would provide for the evacuation of persons with disabilities;
- Building Regulations Approved Document B compliance would be achieved; and
- The internal layout would achieve compliant travel distances.

295. The Fire Strategy was produced by fire risk engineering consultancy BB7. The contents of the document have been checked and approved by a certified fire risk engineer (a Member of the Institute of Fire Engineers).

296. Following the Grenfell Tower fire on 14 June 2017 the government commissioned the Independent Review of Building Regulations and Fire Safety. This led to the introduction of Planning Gateway One. Planning gateway one has two key elements:

- to require the developer to submit a fire statement setting out fire safety considerations specific to the development with a relevant application for planning permission for development which involves one or more relevant buildings, and
- to establish the Health and Safety Executive (HSE) as a statutory consultee for relevant planning applications.

Relevant buildings contain two or more dwellings or educational accommodation and meet the height condition of 18m or more in height, or 7 or more storeys

“Dwellings” includes flats, and “educational accommodation” means residential accommodation for the use of students boarding at a boarding school or in later stages of education.

297. The proposed building would be classified as a ‘relevant building’ and consequently a Gateway One Fire Statement was submitted. The statement has been prepared by a suitably qualified person and reflects the content of the Fire Statement discussed above. The statement demonstrates that adequate measures have been incorporated to ensure fire safety matters are properly

considered at the planning stage. The HSE have reviewed the statement and confirmed the details provided to be acceptable.

298. The relevant fire risk minimisation policies of the London Plan are deemed to have been satisfied. A condition is recommended to ensure the construction and in-use operation of the building are carried out in accordance with the Fire Strategy.

Energy and sustainability

299. Chapter 9 of the London Plan deals with all aspects of sustainable infrastructure and identifies the reduction of carbon emissions as a key priority. Policy SI2 requires all developments to be net zero carbon with a minimum onsite reduction of 35% for both commercial and residential. Non-residential development should achieve 15 per cent reduction through energy efficiency measures.
300. London Plan Policy SI2 'Minimising Greenhouse Gas Emissions' requires all major development to be net zero carbon with a minimum on-site reduction of 35% against the Part L 2013 baseline for both residential and non-residential uses. Southwark Plan Policy P70 'Energy' requires major residential development to be net zero carbon with a 100% on-site reduction against the Part L 2013 baseline. Major non-residential development must also be net zero carbon, but with a minimum on-site reduction of at least 40% against the Part L 2013 baseline. As Policy P70 'Energy' is more recently adopted than London Plan Policy SI2, the onsite carbon emission reductions required by P70 is the up-to-date policy for major development within the borough.
301. Where a development cannot reduce its operational carbon emissions to zero, any residual carbon emissions must be offset to meet the net zero target. For mixed use major development, residual operational carbon emissions must be offset for both residential and non-residential uses. Offsetting is achieved by way of a financial contribution towards the 'Green Buildings Fund', Southwark's Carbon Offset Fund, for the total residual emissions of the development.
302. Part L Building Regulations 'Conservation of Heat and Power' have now been updated from Part L 2013 to Part L 2021. This update results in the baseline performance of new development improving by ~27% for non-residential development. In practice, this means to meet this regulation that buildings must now be built to use less energy and heat that results in less carbon emissions being emitted through their operation. New development must achieve further carbon emission reduction over a higher Part L baseline, to meet planning policy compliance with London Plan Policy SI2 'Minimising Greenhouse Gas Emissions' and Southwark Plan Policy P70 'Energy'
303. The application subject of this report was accompanied by an Energy and Sustainability Plan as well as Whole Life Carbon Assessment and Circular Economy Statement to address current policy requirements (discussed further below).

In the context of energy and sustainability, co-living is assessed as a hybrid of domestic and non-domestic. Specifically; individual studio rooms are treated as domestic and communal amenity rooms and spaces (e.g. communal lounge/kitchens, amenity rooms, co-working spaces) are non-domestic.

Energy and carbon emission reduction

Be Lean

304. In terms of meeting the 'be lean' tier of the hierarchy, the building has been designed with energy efficient fabric principles and highly efficient mechanical ventilation and lighting.
305. These 'demand reduction' measures will achieve an 11% reduction in carbon emissions, exceeding the residential target of 10% but falling short of the non residential policy target of 15%.

Be Clean

306. In relation to the to Be Clean stage the hot water demands of Block C will be met through the connection to the new Block A and B onsite heating plant. It is the applicant's intention to decarbonize the additional heat required for Block C. Therefore, Air Source Heat Pumps will be integrated into the existing installation to offset all of the additional energy requirements of Block C, meaning that Block C demands will be met through 100% ASHP contribution.
307. As no immediate connection to a district heating network is proposed, no carbon savings are reported from the 'be clean' stage of the energy hierarchy. However, it is appropriate secure future connect for Block C to a DHN should one becomes available as part of the s106 obligations. It is noted that future proofed connection has already been made for Blocks A, B and D.

Be Green

308. An area of the roof has been deemed suitable for an array of PV panels. Approximately 24no. of 300Wp PV panels can be installed providing a total output of 7.2kWp. The solar PV array will be connected to the communal electrical system with any excess electricity generated exported offsite. Generated electricity will be monitored to determine system performance.
309. On a side-wide basis, carbon emissions would be reduced by 47% through these 'be green' measures. The applicant has demonstrated that opportunities for renewable energy by producing, storing and using renewable energy on-site have been maximised.

Be Seen

310. Introduced as part of the London Plan 2021, 'be seen' is the newest addition to the GLA's energy hierarchy. It requires developments to predict, monitor, verify and improve their energy performance during end-use operation. All applications

should conduct a detailed calculation of unregulated carbon emissions as part of the compliance with the 'be seen' policy and associated guidance.

311. The applicant's Energy Statement calculates that unregulated per annum energy emissions for the development would be 154.3kWh/m².
312. The applicant's Energy Statement states that a suitable metering strategy will be implemented to record energy (electrical and hot water) consumption and generation from the point at which the development is occupied. It is recommended that the on-going requirements for monitoring energy consumption and generation, and the associated reporting to the GLA in line with policy, be secured through a planning obligation.

Total energy savings

313. Southwark Council's carbon offset cost is £95 for every tonne of carbon dioxide emitted per year over a period of 30 years. This is the equivalent of £2,850 per tonne of annual residual carbon dioxide emissions.
314. The proposal would reduce on-site regulated carbon dioxide emissions by 58% over a notional building minimally compliant with the Building Regulations 2021, (broken down between the different uses this equates to 31% domestic and 27% non domestic). The performance is summarised in the below table:

Site Wide Development CO2 Emissions from each stage of the Energy Hierarchy			
	Total Regulated Emissions	CO2 Savings	Percentage saving
Part L 2021 Baseline	70.6 tonnes CO2		
With Be Lean applied	63 tonnes CO2	7.6 tonnes CO2	11%
With Be Clean applied	63 tonnes CO2	0	0
With Be Green applied	30.1 tonnes CO2	32.9 tonnes CO2	47%
Cumulative saving		40.5 tonnes CO2	58%
Shortfall on carbon zero	903 tonnes CO2		

315. The energy savings, as detailed above, which take into account the decarbonisation of the electricity grid, demonstrate the good environmental and sustainability credentials of the proposed development. The total per annum shortfall in savings relative to carbon zero would, at a rate of £95/tonne for 30 years, generate an offset contribution of £85,785

Whole life cycle and carbon capture

316. London Plan Policy SI2 requires all major development proposals to be supported by a whole life cycle carbon assessment. This assesses the embodied and operational emissions associated with redevelopment.
317. 'Embodied carbon' is the term used to describe the carbon emissions associated with:
- extraction and manufacturing of materials and products;
 - in-use maintenance and replacement;
 - end of life demolition, disassembly and disposal; and
 - the transportation relating to all three.
318. 'Operational carbon' is the carbon dioxide associated with the in-use operation of the building. This usually includes carbon emissions associated with heating, hot water, cooling, ventilation and lighting systems, as well as those associated with cooking, equipment and lifts.
319. Driven by the aim of achieving net carbon zero for new development by closing the implementation gap, whole life cycle carbon assessments are monitored at the pre-application, submission and post-construction stages. Policy P70 of the Southwark Plan reinforces the need to calculate whole life cycle carbon emissions through a nationally recognised assessment and demonstrate actions taken to reduce life cycle carbon emissions
320. The submitted whole life carbon assessment for the planning application considers the operational carbon and embodied carbon of the proposal throughout its life from construction, use and deconstruction. The assessment concludes that at this early design stage, embodied emissions amount to 356 kgCO₂e/m², falling within the GLA aspirational target and well below the GLA benchmark (<850 kgCO₂e/m²), despite the challenge that taller buildings typically have a higher embodied carbon figure. The current total carbon result for Block C, inclusive of embodied and operational carbon is 2,872 kgCO₂e/m² GIA.
321. The WLC Assessment makes a number of recommendations to reduce embodied and operational carbon (appropriate selection of building materials using LETI principles/guidance, using locally sourced materials where possible, implementing measures to reduce water consumption).
322. Further assessment will be required to evaluate and conclude the assessment prior to stage 4 detailed design and as such a condition is recommended to ensure that the applicant undertakes further WLC carbon assessments as the design develops.

Circular Economy

323. Southwark Plan Policy P62 "Reducing Waste" states that a Circular Economy Statement should accompany planning applications referable to the Mayor. Circular economy principles include conserving resource, increasing efficiency, sourcing sustainably, designing to eliminate waste and managing waste sustainably at the highest value. London Plan Policies GG5 "Growing a Good

Economy”, D3 “Growth Locations in the Wider South East and Beyond” and SI7 “Reducing Waste” and all mention circular economy principles and the benefits of transitioning to a circular economy as part of the aim for London to be a zero-carbon city by 2050.

324. A detailed Circular Economy Statement was submitted with the application, which sets out strategic approaches, specific commitments and the overall implementation approach.

325. The broad strategic approaches for the development include adopting lean design principles, minimising waste, specifying materials responsibly and sustainably, and designing for longevity, adaptability and flexibility. Ways this will be achieved include:

- minimising material use through prefabrication off-site where possible;
- using as hardcore the contents of broke-up surfaces on site such as tarmacs and subbases;
- using steel with high recycled content;
- using concrete that has a minimum Ground Granulated Blast Furnace Slag (GGBS) value of 30%;
- making design and material selections in keeping with future weather requirements for better thermal performance and energy efficiency;
- using timber certified under the Programme of Endorsement of Forest Certification (PEFC) or Forest Stewardship Council (FSC);
- where possible giving preference to materials with Environmental Product Declarations;
- sizing the ASHP to meet the heating loads efficiently to ensure there is no wasted over capacity; and allowing for all major plant to be dismantled and removed.

326. Specific targets committed to by the applicant include:

- diverting at least 95% of the waste from going into landfill or for incineration;
- requiring at least 20% of the total value of materials to be from manufacturers that use recycled and reused content in their products.
- ensuring the contractor prepares and implements a Site Waste and Resource Management Plan (SWMP/RMP).

327. The application has addressed the requirements of London Plan Policy SI7 “Reducing Waste and Supporting the Circular Economy”, Southwark Plan Policy P62 “Reducing Waste”, and has referenced the GLA’s guidance in producing the Circular Economy Statement. Conditions are proposed requiring post-completion reporting. Subject to these conditions, the proposal is considered to comply with the sustainable materials element of Policy P17 “Tall Buildings”.

Overheating and cooling

328. London Plan Policy S14 “Managing Heat Risk” details that major development proposals should demonstrate how they will reduce the potential for internal overheating and reliance on air conditioning systems in accordance with the cooling hierarchy. Policy P69 “Sustainability Standards” of the Southwark Plan states that development must reduce the risk of overheating, taking into account climate change predictions over the lifetime of the development, in accordance with the cooling hierarchy.

329. The six-step hierarchy that should be followed when developing a cooling strategy for new buildings is as follows:

- minimise internal heat generation through energy efficient design; then
- reduce the amount of heat entering the building through the orientation, shading, albedo, fenestration, insulation and green roofs and walls; then
- manage the heat within the building through exposed internal thermal mass and high ceilings; then
- use passive ventilation; then
- use mechanical ventilation; then
- use active cooling systems (ensuring they are the lowest carbon options).

330. The site is exposed to high ambient noise levels, meaning it would not be possible to maintain acceptable noise levels within the building if the windows were open for extended periods to mitigate the risk of overheating. Consequently the assessment submitted is based on windows being closed.

Minimise internal heat generation

331. Internal heat generation is to be minimised through measures including low energy lighting (to reduce lighting gains), low heating system water temperatures, and applying insulation to the communal pipework in excess of the Building Regulations and British Standards enhanced specification to avoid distribution losses.

Reduce heat entering the building

332. The heat entering the proposed development is to be reduced by a combination of measures. These include appropriate cladding materials and insulation for the building taking into account its orientation and functional requirements as well as solar control glazing incorporating a G value of 0.4, deep reveals.

Manage the heat within the building

333. Good floor-to-ceiling heights would be achieved and floor slabs would be left partially exposed where possible.

Use passive ventilation

334. Despite the need for mechanical ventilation being established at the outset because of the potential traffic noise levels locally prohibiting windows being open for extended periods it will be possible for the occupiers to open bedroom

windows without being exposed to air quality issues which means they may choose to open windows for shorter periods to deal with peaks in temperature and kitchen windows can be open during the evening when not in use to help naturally ventilate and cool the building. The assessment shows there is no need for additional comfort cooling measures.

Use mechanical ventilation

335. The rooms would incorporate mechanical ventilation.
336. All rooms are predicted to remain within acceptable temperature ranges as defined by CIBSE TM59, for predominantly mechanical ventilated dwellings, without the need to open the windows due to the high external ambient noise levels.
337. The communal corridors would be ventilated using an environmental ventilation system to remove excess heat from the corridors via the smoke ventilation system.

BREEAM

338. Policy P69 of the Southwark Plan states that non-residential development must achieve a BREEAM rating of 'Excellent'. The applicant's BREEAM indicates 'Excellent' can be achieved, and a planning condition is recommended to secure this.

Water efficiency

339. The Sustainability Strategy submitted by the applicant confirms that the proposed development aims to minimise water consumption such that the BREEAM excellent standard for the 'Wat 01' water category would be achieved, as required by London Plan Policy SI5. This will be achieved through the specification of features such as:
- water-efficient sanitary fittings,
 - a water meter on the mains water supply; and
 - a leak detection system will be installed.

Digital connectivity infrastructure

340. The NPPF recognises the need to support high-quality communications infrastructure for sustainable economic growth and to enhance the provision of local community facilities and services.
341. To ensure London's long-term global competitiveness, Policy SI6 "Digital Connectivity Infrastructure" of the London Plan requires development proposals to:

- be equipped with sufficient ducting space for full fibre connectivity infrastructure;
- achieve internet speeds of 1GB/s for all end users, through full fibre connectivity or an equivalent.
- meet expected demand for mobile connectivity; and
- avoid reducing mobile capacity in the local area.

342. The applicant has confirmed that Block C shall consist of smart internet services. A dedicated comms room has been included within the proposals to house the main comms cabinet. New fibre connections shall be provide to the building via the existing BT Openreach infrastructure within the site. Wired and wireless internet services shall be supplied throughout the building utilising hardwire cabling and cabinet infrastructure connected to in-room outlet sockets as well as WIFI routers for common areas access points.

Socio-economic impacts

343. London Plan Policy E11 “Skills and Opportunities for All” requires development proposals to support employment, skills development, apprenticeships, and other education and training opportunities in both the construction and end-use phases. This requirement is also covered by Southwark Plan Policy P28 “Access to Employment and Training”, with the methodology for securing these opportunities prescribed by the Council’s Section 106 Planning Obligations and Community Infrastructure Levy SPD (2015 with 2020 Update)

344. In accordance with the policy framework, there would be a requirement for this development to deliver training and employment during the construction phase only. In accordance with the Southwark SPD, 3 construction industry apprentices, 13 short courses and 13 sustained jobs for unemployed Southwark Residents would be required. These would all need to be filled by the applicant in accordance with a Construction Phase Employment, Skills And Business Plan. These obligations will be secured through the Section 106 Agreement.

345. In terms of direct employment, the proposal has the potential to deliver up to 5 direct FTE positions in the operational phase.

Planning obligations

346. London Plan Policy DF1 “Delivery of the Plan and Planning Obligations” and Southwark Plan Policy IP3 “Community Infrastructure Levy and Section 106 Planning Obligations” advise that planning obligations can be secured to overcome the negative impacts of a generally acceptable proposal. These policies are reinforced by the Section 106 Planning Obligations and CIL SPD, which sets out in detail the type of development that qualifies for planning obligations. The NPPF echoes the Community Infrastructure Levy Regulation 122 which requires obligations to be:

- necessary to make the development acceptable in planning terms;
- directly related to the development; and

- fairly and reasonably related in scale and kind to the development

347. In accordance with the Section 106 Planning Obligations and CIL SPD, the following obligations have been agreed with the applicant in order to mitigate the impacts of the development:

- £5.4m PiL for affordable housing (being the equivalent of 40% of the hab rooms at £100k).
- The co-living premises must be managed by a single management agent
- All tenancy agreements shall be for a minimum of 3 months
- The occupiers of the co-living units shall enjoy all services and facilities connected to the co-living premises as part of their rent, with the exception of utility bills for individual units (which may be included in the rent at the discretion of the Owner).
- Prior to occupation of the co-living, a Final Operational Management Plan shall be submitted to and approved by the LPA. It shall be based on the principles established by the application-stage Operational Management Plan, but with appropriate updates, and shall include (but not be limited to) the following details:
 - security and fire safety procedures;
 - move in and move out arrangements;
 - how all internal and external areas of the development will be maintained;
 - how communal spaces and private units will be cleaned and how linen changing services will operate;
 - how deliveries for servicing the development and residents' deliveries will be managed.
 - The approved Final Operational Management Plan (as amended from time to time) shall be complied with throughout the lifetime of the development.
- The co-living premises (the units and all shared and ancillary facilities), shall be retained as a rental product which cannot be sold off as individual units, nor at any time be used as self-contained accommodation (hotel, aparthotel, hostel or similar).
- All communal amenity facilities (internal and external) within the co-living build as approved shall be retained for the lifetime of the development, and shall not be used for any purpose other than free-to-access communal amenity space for all co-living residents.
- Confirm the sui generis use and prevent any future change of use to self-contained accommodation
- Stipulate single room occupancy only
- Secure 10% Wheelchair units as set out in the proposed plans
- Employment and training opportunities - 13 sustained jobs to unemployed Southwark residents, 13 short courses, and take on 3 construction industry apprentices during the construction phase, or meet the Employment and Training Contribution. The maximum Employment and Training Contribution is £173,700 (£55,900 against sustained jobs, £1,950

against short courses, and £4,500 against construction industry apprenticeships).

- An employment, skills and business support plan should be included in the S106 obligations.
- The applicant should allow local businesses to tender for the procurement of goods and services generated by the development both during and after construction
- To make available the necessary land required to facilitate a two way Printworks Street as well as paying a proportionate sum towards the costs of delivering the two way street
- £28,000 towards local highway/public realm improvements – on implementation
- £22,000 towards legible London signage – prior to occupation
- £110,000 towards cycle hire docking stations/facilities – prior to occupation
- Onsite carbon savings minimum 58%
- Carbon offset fund £85,785 – on implementation
- Provision of 2 Blue Badge Spaces fitted with electric vehicle charging points – prior to occupation
- Removal of permits CPZ permits
- Submission of a travel plan – prior to occupation
- Inclusion of 3 years membership for residents for the car club
- A Travel Plan monitoring fee taken for the purposes of monitoring whether or not this is accorded to – on implementation
- Delivery of the Pocket Park public realm prior to first occupation of the co-living block. Maintenance and public access secured in perpetuity;
- CEMP - Any potential impacts on Printworks Street bus stand/ bus operations will need to be discussed and agreed with the Council and TfL at an early stage
- Connection to the site wide heat network (prior to first occupation and retained in perpetuity)
- Connection to the site wide drainage network (prior to first occupation and retained in perpetuity)
- Future proofed connection for Block C to DHN
- Be seen monitoring
- Admin and monitoring fee

348. In the event that a satisfactory legal agreement has not been entered into by 31 July 2024 (or another date agreed by officers) it is recommended that the director of planning and growth refuses planning permission, if appropriate, for the following reason:

“The proposal, by failing to provide for appropriate planning obligations secured through the completion of a S106 agreement, fails to ensure adequate provision of mitigation against the adverse impacts of the development through projects or contributions, contrary to: Policy DF 1 (‘Planning Obligations’) of the London Plan 2021; Policy IP3 (‘Community Infrastructure Levy (CIL) and Section 106 Planning

Obligations') of the Southwark Plan; and the Southwark 'Section 106 Planning Obligations and Community Infrastructure Levy SPD' 2015".

Mayoral and Borough Community Infrastructure Levies

349. Section 143 of the Localism Act states that any financial contribution received as community infrastructure levy (CIL) is a material "local financial consideration" in planning decisions. The requirement for payment of the Mayoral or Borough CIL is therefore a material consideration. However, the weight attached is determined by the decision maker. The Mayoral CIL is required to contribute towards strategic transport investments in London as a whole, while the Borough CIL will provide for infrastructure that supports growth in Southwark.
350. The site is located within Southwark CIL Zone 2 and MCIL2 Band 2 Zone. Based on the GIA obtained from Design and Access Statement (section 4.4), the gross amount of CIL is £2,068,122. It should be noted that this is an estimate, floor areas will be checked when related CIL Assumption of Liability is submitted after planning approval has been secured.

Community involvement and engagement

351. This application was accompanied by a Statement of Community Involvement, Development Consultation Charter and Engagement Summary confirming the public consultation that was undertaken by the applicant during the pre-application phase. Connect Public Affairs, a specialist community consultation and engagement consultancy, were appointed by the applicant to organise and manage their consultation process on the proposed redevelopment of the site. The following consultation/engagement was undertaken:
- Meeting with Councillors to discuss options for the site – November 2020
 - Cabinet Member and Ward Councillor briefings – September and October 2021
 - Consultation brochure delivered to 2,500 local properties – March 2022
 - Residents in the same radius were sent a follow up letter as a reminder about the consultation process in April 2022
 - Website Launch and Online Feedback Form and consultation hotline – March 2022
 - In-person Community Consultation Event at Alfred Salter Primary School – March 2022
 - Follow up letter delivered to 2,500 local properties – April 2022
352. Included within the Statement of Community Involvement are the consultation materials that were circulated as part of the pre-application engagement exercise.
353. Part 4 of the Engagement Summary includes a "You said – we did" summary of how the applicant responded to issues raised by officers during the pre-application process.

354. The pre-application consultation undertaken by the applicant was an adequate effort to engage with those affected by the proposals.
355. The Council, as part of its statutory requirements, sent letters to surrounding residents, issued a press notice publicising the planning application and displayed notices in the vicinity of the site. Details of the consultation undertaken by the Council are set out in the appendices. The responses received are summarised earlier in this report.

Consultation responses from internal and external consultees

356. GLA stage one summary:

Land use principles: The proposals to deliver 135 co-living units in this highly accessible opportunity area and town centre location is acceptable subject to the resolution of the matters set out elsewhere in this report.

Urban Design: The scheme is of a high design and architectural quality. Whilst the height and massing could be supported, further information is required on the functional impacts of the tall building. Further clarification on inclusive access is required.

Affordable Housing: The affordable housing offer is yet to be confirmed, GLA officers are robustly scrutinising the FVA to ensure the scheme makes the maximum contribution towards affordable housing.

Other issues on Energy, WLC, Circular economy and the Environment require resolution prior to the Mayor's decision making stage.

Recommendation: That Southwark Council be advised that the application does not yet comply with the London Plan for the reasons set out in paragraph 106. Possible remedies set out in this report could address these deficiencies.

Officer comment: The applicant has submitted revised and additional information to address the GLA response as discussed in detail in the relevant sections of this report.

357. TfL(Summary):

Car parking

Reflecting the high PTAL location, the development will be car-free, bar two on-street Blue Badge spaces, which should be equipped with electric vehicle charging points (EVCP).

Other residents should be excluded from applying for on-street car parking permits for the CPZ.

Active travel

The Active Travel Zone (ATZ) assessment identifies several key routes and some deficiencies. However, the immediate area is subject to significant change, mostly due to the adjacent Canada Water Dockside and Canada Water

Masterplan developments. Given this, the Council would be supported in seeking contributions towards off-site Healthy Streets improvements further away from the immediate locality.

The application material indicated building set-back and land reservation to allow for two-way traffic on Printworks Street, which is strongly supported, as this road will be used by TfL buses to access the bus stand. Two way working increases operational flexibility and improves cycle access, in absence of a contraflow cycle facility. It must be confirmed that the space to be allocated is sufficient and this land is to be secured in any subsequent planning permission

The development should be integrated into the local Legible London signage system to support active travel, particularly important for first time residents and visitors who may not know the local area, so appropriate funding should be secured in the s106 agreement. £22,000 would provide for two new signs on/adjacent to the site, and local existing sign map refresh.

The cycle parking accords with the minimum in London Plan policy and provides one space per room.

The limited short stay cycle parking would be within the site, not on the public highway, which is supported. However, it is not clear if any of these are covered, so this should be clarified.

The extant permission was granted before the Santander Cycles hire scheme was extended to Canada Water. As such, the Council would be supported in seeking funding for expansion of capacity, and £110,000 is requested, equivalent to half the costs of a docking station, which would be used towards creating additional capacity.

Impact on public transport

Public transport services in the area can be crowded, and both the Canada Water Dockside (CWD) and Canada Water Masterplan (CWMP) permissions provide for substantial mitigation in this respect. The TA, however, predicts that trips for this development will be generally lower than the extant permission, with 10-15 less AM peak hour trips on the Underground and buses. Whilst there was nothing secured in the extant permission for rail or bus improvements, the permission predates those for CWD and CWMP. These schemes are only mitigating their own impacts and thus TfL considers a pro rata contribution is justified towards public transport improvements.

The site lies directly opposite the location of a future three-bus bus stand on Printworks Street, as shown on the site layout plans. The noise assessment clearly could not include the bus stand in the baseline noise survey as it does not exist yet. However, there are no balconies on this east frontage, and private residential living/sleeping space starts at the 2nd floor, which reduces noise, although there are communal rooms on the first floor. Four street trees are proposed for Printworks Street, providing additional screening once they have matured. It is not clear however if suitable noise mitigation standards will be met by the glazing nor adequate air quality ensured, so these should be clarified.

Deliveries and servicing, travel plan and construction

Servicing will be via Mulberry Walk as per consented scheme, which minimises impacts on the public highway. The Council must be satisfied that the servicing area has sufficient capacity and appropriate management arrangements to cater for potentially higher demand from 'co-living' residents than the TA predicts (8 daily weekday delivery trips). Measures by which unofficial use of Printworks Street impacting bus operations will be avoided should be outlined. The draft delivery and servicing plan (DSP) in the TA should be secured by way of condition/s106 agreement.

The outline travel plan in the TA should be secured by way of condition/s106 agreement.

There is limited information on construction in the TA. A construction logistics plan (CLP) and a construction management plan should be secured by way of condition/s106 agreement.

London Underground Jubilee line tunnels run under the site, so as per the LU Infrastructure Protection team's response to the planning application consultation, a condition and informative relating to infrastructure protection should be included in any subsequent planning permission.

Officer comments: The issues raised have been discussed in detail in the report and appropriate conditions/obligations secured.

358. **HSE Gateway One:** Following a review of the information provided in the planning application, HSE is satisfied with the fire safety design relating to the project description, to the extent that it affects land use planning.
359. **London City Airport:** London City Airport has now assessed the above application against safeguarding criteria and can confirm that we have no safeguarding objections to the proposed development.
360. **Historic England:** Do not wish to comment.
361. **Secure by Design:** This development is suitable to achieve Secured By Design accreditation, and in order to assist the development with achieving Secured By Design standards, I would ask that the recommended condition be applied if planning permission is granted.
362. **Thames Water:** Waste Comments - the proposed development is located within 15 metres of our underground waste water assets and as such we would like the recommended informative attached to any approval granted. With regard to surface water drainage, Thames Water would advise that if the developer follows the sequential approach to the disposal of surface water we would have no objection. Management of surface water from new developments should follow Policy SI 13 Sustainable drainage of the London Plan 2021. Thames Water would advise that with regard to waste water network and sewerage treatment infrastructure capacity, we would not have any objection to the above planning application, based on the information provided.

363. **London Underground Safeguarding:** Though we have no objection in principle to the planning application there are a number of potential constraints on the redevelopment of a site situated close to underground tunnels and infrastructure. Therefore, it will need to be demonstrated to the satisfaction of TfL Infrastructure Protection engineers that: development will not have any detrimental effect on our tunnels and structures either in the short or long term. The design must be such that the permanent loading imposed on our tunnels or structures is not increased or removed we offer no right of support to the development or land. Conditions recommended.

364. **Environment Agency:** No objection subject to recommended conditions.

365. **Tower Hamlets:** No comment

366. **Local Economy Team:** This development would be expected to deliver 13 sustained jobs to unemployed Southwark residents, 13 short courses, and take on 3 construction industry apprentices during the construction phase, or meet the Employment and Training Contribution. The maximum Employment and Training Contribution is £173,700 (£55,900 against sustained jobs, £1,950 against short courses, and £4,500 against construction industry apprenticeships).

An employment, skills and business support plan should be included in the S106 obligations.

As there will be 1,000sqm or more of gross new floorspace, the applicant should allow local businesses to tender for the procurement of goods and services generated by the development both during and after construction

367. **Ecology:** I have reviewed this application with regards to ecology. The Ecological Assessment is fine. No further surveys are required. The UGF score of 0.402 is good and the BNG increase is above the minimum 10%. Conditions recommended.

368. **Urban Forrester:** No objection, conditions recommended.

369. **Drainage:** Given the connecting to the wider Mulberry Site the proposal is acceptable.

370. **EPT (final comments):** Object to the proposed Printworks Street, however that is not part of this application. They are otherwise satisfied with the development subject to conditions.

Officer Comments: Planning permission exists outside of the scope of this application for Printworks Street which will provide vehicular access from Quebec way to Surrey Quays Road. Printworks Street is a necessary route that will facilitate servicing in the town centre as well as providing a bus route and bus stands (to replace those displaced elsewhere as a result of the wider transformation of the town centre).

The recommended conditions will be attached in respect of air quality, noise, lighting and contamination.

371. **Transport Policy:** All matters on this application are resolved subject to the recommended conditions and s106 obligations being secured.

- Printworks Street – revised landscaping provides sufficient footway width, layout appears to be consistent with BL design.
- Cycle parking – short stay/visitor parking can be conditioned
- Blue badge parking – provision is roughly consistent with recently approved student/co-living schemes in Southwark
- Refuse – LBS Waste management to confirm acceptance of refuse arrangements
- Delivery and servicing – consistent with approved Scape scheme, no further actions required.

Community impact and equalities assessment

372. The Public Sector Equality Duty (PSED) contained in Section 149 (1) of the Equality Act 2010 imposes a duty on public authorities to have, in the exercise of their functions, due regard to three "needs" which are central to the aims of the Act:

1. The need to eliminate discrimination, harassment, victimisation and any other conduct prohibited by the Act
2. The need to advance equality of opportunity between persons sharing a relevant protected characteristic and persons who do not share it. This involves having due regard to the need to:
 - Remove or minimise disadvantages suffered by persons who share a relevant protected characteristic that are connected to that characteristic
 - Take steps to meet the needs of persons who share a relevant protected characteristic that are different from the needs of persons who do not share it
 - Encourage persons who share a relevant protected characteristic to participate in public life or in any other activity in which participation by such persons is disproportionately low
3. The need to foster good relations between persons who share a relevant protected characteristic and those who do not share it. This involves having due regard, in particular, to the need to tackle prejudice and promote understanding.

373. The protected characteristics are: race, age, gender reassignment, pregnancy and maternity, disability, sexual orientation, religion or belief, sex, marriage and civil partnership.

374. The Council must not act in a way which is incompatible with rights contained within the European Convention of Human Rights

375. The application was supported by an Equalities Impact Assessment. The assessment confirms the following

- There are no existing occupiers that will be displaced by the proposal;
- The proposal will create a form of rental accommodation available for anybody including those with a protected characteristic
- 10% of studios are designed as accessible units
- Any occupier who is pregnant will be supported by community and building managers to ensure their stay is as comfortable as possible
- Proposal will create a publicly accessible ground floor use for all age groups and the building has been designed to be accessible to a range of needs and users
- Design team has been supported by an accessibility specialist through pre planning and planning stage.
- Proposal will support construction jobs and operational jobs in the form of workspace (for people otherwise working from home) and building management jobs
- Proposal will meet needs of a wide range of users and future residents and has been designed in collaboration with an accessibility consultant to ensure the building meets this need. In house management and community managers will support residents with individual needs beyond the building's physical features

376. The potential impacts of this development both positive and negative have been discussed throughout this report. It is not considered that any negative impacts will affect a particular individual or group with a protected characteristic more than those without protected characteristics.

377. Officers are satisfied that equality implications have been carefully considered throughout the planning process and that Members have sufficient information available to them to have due regard to the equality impacts of the proposal as required by Section 149 of the Equality Act 2010 in determining whether planning permission should be granted.

Human rights implications

378. This planning application engages certain human rights under the Human Rights Act 1998 (the HRA). The HRA prohibits unlawful interference by public bodies with conventions rights. The term 'engage' simply means that human rights may be affected or relevant.

379. This application has the legitimate aim of redeveloping the site for a new housing together with public realm improvements and other associated works. The rights potentially engaged by this application, including the right to a fair trial and the right to respect for private and family life are not considered to be unlawfully interfered with by this proposal.

Positive and proactive engagement: summary table	
Was the pre-application service used for this application?	YES
If the pre-application service was used for this application, was the advice given followed?	YES
Was the application validated promptly?	YES
If necessary/appropriate, did the case officer seek amendments to the scheme to improve its prospects of achieving approval?	YES

CONCLUSION

380. This application would see the final plot within the Mulberry Business Centre being developed. The proposed building would be constructed with the same footprint and similar massing to the extant office scheme albeit with an increase in height. The additional height is not considered to be significant given the existing and emerging context. The design of the building is of high quality and will make a positive contribution to the streetscene and character of the area.
381. The proposal will knit into the existing public realm on the wider site and will also add additional public realm along Printworks Street with a new pocket park. Furthermore the proposal will release the land required to deliver a two way Printworks Street with land already secured within adjacent developments which should be regarded as a significant benefit of the scheme.
382. The co-living land use will complement the existing student and conventional housing on site providing a form of housing which is not currently available in this location. The co-living accommodation is well designed meeting the GLA benchmark standards and will make a valuable contribution to the Boroughs housing stock. The commercial units will also make a positive contribution to the facilities available in this part of the town centre.
383. The proposal would deliver a payment-in-lieu £5.4m (index-linked), which equates to 40% affordable housing by habitable room. The payment-in-lieu will be used to directly support the delivery of affordable housing in the Borough. The payment-in-lieu is therefore considered to be a substantial benefit of the application.
384. The impacts on neighbours' amenity have been assessed and are not considered to be significantly harmful.
385. Transport matters have been satisfactorily addressed by the application documents, with detailed arrangements and mitigation to be secured through planning conditions and obligations.

386. Subject to compliance with the detailed energy and sustainability strategies submitted and payment of the Carbon Green Fund, the development satisfactorily addresses climate change policies.

387. In line with the requirements of the NPPF, the Council has applied the presumption in favour of sustainable development. The proposal would accord with sustainable principles and would make efficient use of a prominent vacant brownfield site to deliver a high quality development that is in accordance with the Council's aspirations for the area. It is therefore recommended that planning permission is granted, subject to conditions as set out in the attached draft decision notice, referral to the GLA, and the timely completion of a Section 106 Agreement.

BACKGROUND DOCUMENTS

Background Papers	Held At	Contact
Application file: 23/AP/0543 Southwark Development Plan Documents	Planning Division, Chief Executive's Department, 160 Tooley Street, London, SE1 2QH	<ul style="list-style-type: none"> • Planning enquiries telephone: 020 7525 5403 • Planning enquiries email: planning.enquiries@southwark.gov.uk • Council website: www.southwark.gov.uk

APPENDICES

No.	Title
Appendix 1	Recommendation (draft decision notice)
Appendix 2	Relevant planning policies
Appendix 3	Planning history of the site and nearby sites
Appendix 4	Consultation undertaken
Appendix 5	Consultation responses received

AUDIT TRAIL

Lead Officer	Stephen Platts, Director of Planning and Growth	
Report Author	Gemma Usher, Team Leader	
Version	Final	
Dated	28 May 2024	
Key Decision	No	
CONSULTATION WITH OTHER OFFICERS / DIRECTORATES / CABINET MEMBER		
Officer Title	Comments Sought	Comments included
Strategic Director of Finance	No	No
Strategic Director of Environment, Neighbourhoods and Growth	No	No
Strategic Director of Housing	No	No
Date final report sent to Constitutional Team		29 May 2024

Recommendation

This document shows the case officer's recommended decision for the application referred to below.

This document is not a decision notice for this application.

Applicant	Via Agent Quebec Properties Ltd	Reg. Number	23/AP/0543
Application Type	Major application		
Recommendation	GRANT permission	Case Number	403-A

Draft of Decision Notice

Planning permission is GRANTED for the following development:

Construction of a Part 13 and Part 14 storey building (over basement) with a maximum height of 51m AOD to provide 135 co-living/shared living rooms with associated internal and external amenity space (Sui generis) together with ground and first floor commercial units (Class E), with ancillary refuse/cycle stores, servicing areas, landscaping, associated public realm works and provision of 2 disabled car parking spaces.

Block C, Former Mulberry Business Park Quebec Way London SE16

In accordance with application received on 28 February 2023 and Applicant's Drawing Nos.:

Existing Plans

Plans - Existing SM2104-P01-Existing Site Location Plan received 01/03/2023

Plans - Existing SM2104-P03-Existing Basement Floor Plan received 01/03/2023

Plans - Existing SM2104-P20-Proposed 02-04 Floor Plan received 01/03/2023
Plans - Existing SM2104-P21-Proposed 05-12 Floor Plan received 01/03/2023
Plans - Existing SM2104-P22-Proposed 13 Floor Plan received 01/03/2023
Plans - Existing SM2104-P23-Proposed Roof Plan received 01/03/2023
Plans - Existing SM2104-P02-Existing Site plan. received 01/03/2023

Proposed Plans

Plans - Proposed SM2104-P19-Proposed 01 Floor Plan (002) received 21/11/2023
Plans - Proposed SM2104-sk12-Proposed floor to ceiling heights (002). received 21/11/2023
Plans - Proposed SM2104-sk14-NORTH ELEVATION showing detail @ top floor terrace (002). received 21/11/2023
Plans - Proposed M2104-sk15-SOUTH ELEVATION showing detail @ top floor terrace (002) received 21/11/2023
Plans - Proposed SM2104-sk13-Facade details (002). received 21/11/2023
Plans - Proposed SM2104-sk16-Entrance Treatment (002) received 21/11/2023
Plans - Proposed SM2104-sk10-Refuse store revision received 28/08/2023
Plans - Proposed SM2104-sk11-Site plan with dropped kerb. received 21/08/2023
Plans - Proposed updated landscaping layout + footpath widths received 08/08/2023
Plans - Proposed 24048601-STR-HGN-100-DR-D-00201 - WIP - Swept Path Analysis PS received 08/08/2023
Plans - Proposed SM2104-P12-A-Block C EAST ELEVATION received 20/04/2023
Plans - Proposed SM2104-P07-A-Proposed Site plan received 20/04/2023
Plans - Proposed SM2104-P08-A-Proposed Site Plan - Ground. received 20/04/2023
Plans - Proposed SM2104-P11-A-Block C NORTH ELEVATION. received 20/04/2023
Plans - Proposed SM2104-P13-A-Block C WEST ELEVATION. received 20/04/2023
Plans - Proposed SM2104-P14-A-Block C SOUTH ELEVATION. received 20/04/2023
Plans - Proposed SM2104-P15-A-Proposed Cross Section.p received 20/04/2023
Plans - Proposed SM2104-P16-A-Proposed Long Section received 20/04/2023
Plans - Proposed SM2104-P23-A-Proposed Roof Plan received 20/04/2023
Plans - Proposed SM2104-P17 Proposed Basement Floor Plan received 01/03/2023

Other Documents

Energy statement L220300 - Canada Street - Block C - Energy Strategy - Rev02 received 09/10/2023

Document L220300 - Canada Street - Overheating Assessment Rev 03. received 09/10/2023

Document L220300_Canada Street_WLCA Report_rev01_14.09.23. received 09/10/2023

Document Equalities Health Impact Assessment received 24/04/2023

Document K220300_Circular-Economy-Statement_ Rev01 Canada Street_19-9-23 received 09/10/2023

Document Equalities Impact Assessment received 24/04/2023

Document L220300_Canada Street_lpg_wlca_assessment_template_2022_planning_rev01 received 21/11/2023

Flood risk assessment FRA SUDS 1v3 received 18/10/2023

Document CIRCULAR ECONOMY REV2 (002) received 21/11/2023

Planning statement received 20/04/2023

Document Development Consultation Charter received 24/04/2023

Document Operational Management Plan received 20/04/2023

Document HSE Gateway One Form Gateway One Fire Stateme received 20/04/2023

Document Housing Needs Assessment received 20/04/2023

Document Jobs and Training Specification received 20/04/2023

Document Statement of Community Involvement. received 20/04/2023

Document Visual Impact Assessment. received 20/04/2023

Document Energy Infrastructure Report received 01/03/2023

Fire Statement BB-LPS-10022-OF-01 prepared by BBS received 01/03/2023

Air quality assessment Rev 2 received 01/03/2023

Document BREEAM Pre Assessment 10822-S-BNC-DS-0001 received 01/03/2023

Document TA, Travel Plan _ DSMP combined 24048601 received 01/03/2023

Sustainability statement L220300 Rev 1 received 01/03/2023

Ground Investigation Report Geo-environmental Desktop Study 13399 Rev P01

received 01/03/2023

Document Operational Waste Management Plan received 21/11/2023

Document Wind Microclimate Report P119959-1000 Issue: 4 received 08/08/2023

Design and access statement received 20/04/2023

Noise impact assessment received 01/03/2023

Ecology assessment/Nature conservation received 20/04/2023

Daylight/Sunlight assessment P2332 v1 received 03/04/2024

Daylight/Sunlight assessment Impact on adjacent Zone H received 03/04/2024

Daylight/Sunlight assessment Internal Sunlight Analysis received 03/04/2024

Time limit for implementing this permission and the approved plans

2. The development hereby permitted shall be begun before the end of three years from the date of this permission.

Reason: As required by Section 91 of the Town and Country Planning Act (1990) as amended.

Permission is subject to the following Pre-Commencements Condition(s)

3. a) Prior to the commencement of any development a detailed remediation and/or mitigation strategy shall be prepared and submitted to the Local Planning Authority for approval in writing. The strategy shall detail all proposed actions to be taken to bring the site to a condition suitable for the intended use together with any monitoring or maintenance requirements. The scheme shall also ensure that as a minimum, the site should not be capable of being determined as contaminated land under Part IIA of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation. The approved remediation scheme (if one is required) shall be carried out and implemented as part of the development.

b) Following the completion of the works and measures identified in the approved remediation strategy, a verification report providing evidence that all works required by the remediation strategy have been completed, together with any future monitoring or maintenance requirements shall be submitted to

and approved in writing by the Local Planning Authority.

c) In the event that potential contamination is found at any time when carrying out the approved development that was not previously identified, it shall be reported in writing immediately to the Local Planning Authority, and a scheme of investigation and risk assessment, a remediation strategy and verification report (if required) shall be submitted to the Local Planning Authority for approval in writing, in accordance with a-c above.

Reason

To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with the Southwark Plan 2022 Policy P56 (Protection of amenity); Policy P64 (Contaminated land and hazardous substances), and the National Planning Policy Framework 2023.

4. The dwellings hereby permitted shall be designed to ensure that the following internal noise levels are not exceeded due to environmental noise:
Bedrooms - 35dB LAeq T†, 30 dB L Aeq T*, 45dB LAFmax T *

Living and Dining rooms- 35dB LAeq T †

* - Night-time - 8 hours between 23:00-07:00

† - Daytime - 16 hours between 07:00-23:00

A report shall be submitted in writing to and approved by the LPA detailing acoustic predictions and mitigation measures to ensure the above standards are met. Following completion of the development and prior to occupation, a validation test shall be carried out on a relevant sample of premises. The results shall be submitted to the LPA for approval in writing. The approved scheme shall be implemented and permanently maintained thereafter.

Reason

To ensure that the occupiers and users of the development do not suffer a loss of amenity by reason of excess noise from environmental and transportation in accordance with the Southwark Plan 2022 Policy P56 (Protection of amenity); Policy P66 (Reducing noise pollution and enhancing soundscapes), and the National Planning Policy Framework 2023.

5. (i) Prior to commencement of the development hereby approved the following

details shall be submitted to and approved in writing by the local planning authority, in consultation with TfL Infrastructure Protection.

a. Site specific Risk Assessments and Method Statements (RAMS) for any activities which TfL may deem to be a risk to London Underground (LU). Individual RAMS should be issued a minimum of 6 weeks prior to the individual activity commencing.

b. Demonstrate that the design allows for any EMC emissions from LU's tunnel tracks and adjacent electrical equipment

Details of any changes in loading to LU's infrastructure because of the works or temporary works

c. Written confirmation will be required from Thames Water that any increased drainage or sewage from the site will not be discharged directly or indirectly into LU's drainage system.

d. Accommodate the location of the existing LU infrastructure

e. Accommodate ground movement arising from the proposed demolition and/or construction works

f. Mitigate the effects of noise and vibration arising from the adjoining railway operations and maintenance within their structures and land

g. No claims to be made against TfL or LU by the Local Authority (e.g. Southwark Council), purchasers, tenants, occupants or lessees of the development for any noise or vibration resulting from LU running and operations

h. No works to commence on any part of TfL/LU Property or in it's airspace until any agreements required with TfL Engineering, TfL Property or TfL Legal have been agreed and signed by all parties.

(ii) Before the sub-structure construction stage begins, no works shall be carried out until the following, in consultation with TfL Infrastructure Protection, have been submitted to and approved in writing by the local planning authority.

a. Prior to commencement of each phase of the development, provide detailed design for foundations, basement and ground floor structures, or for any other structures below ground level, including piling (temporary and permanent)

b. Site specific Risk Assessments and Method Statements (RAMS) for any activities (groundworks, piling) which TfL may deem to be a risk to LU. Individual RAMS should be issued a minimum of 6 weeks prior to the individual activity commencing.

c. Details of any changes in loading to LU's infrastructure because of the works or temporary works

d. Ground movement analysis if requested

e. No support to be taken from LU's land or structures.

(iii) Before the super-structure construction stage begins, no works shall be carried out until the following, in consultation with TfL Infrastructure Protection, have been submitted to and approved in writing by the local planning authority.

a. Provide detailed design for all superstructure works (temporary and permanent)

b. Provide details on the erection and use of tall plant (e.g. tower cranes, mobile cranes and piling rigs) prior to commencement of works

c. Site specific Risk Assessments and Method Statements (RAMS) for any activities (craneage, scaffolding, use of tall plant) which TfL may deem to be a risk to LU. Individual RAMS should be issued a minimum of 6 weeks prior to the individual activity commencing

d. Details of any changes in loading to LU's infrastructure because of the works or temporary works

e. Ground movement analysis if requested

f. No support to be taken from LU's land or structures

The development shall thereafter be carried out in all respects in accordance with the approved design and method statements, and all structures and works comprised within the development hereby permitted which are required by the approved design statements in order to procure the matters mentioned in paragraphs of this condition shall be completed, in their entirety, before any part of the building hereby permitted is occupied.

Reason: To ensure that the development does not impact on existing London Underground transport infrastructure, in accordance with London Plan 2021, draft London Plan policy T3 and 'Land for Industry and Transport' Supplementary Planning Guidance 2012.

6. No development approved by this planning permission shall commence until a remediation strategy to deal with the risks associated with contamination of the site in respect of the development hereby permitted, has been submitted to, and approved in writing by, the local planning authority.

This strategy will include the following components:

1. The results of the site investigation and the detailed risk assessment referred to in the submitted Geo-environmental Desktop Study, and based on these, an options appraisal and remediation strategy giving full details of the remediation measures required and how they are to be undertaken.

2. A verification plan providing details of the data that will be collected in order to demonstrate that the works set out in the remediation strategy are complete and identifying any requirements for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action.

Any changes to these components require the written consent of the local planning authority. The scheme shall be implemented as approved.

Reasons

To ensure that the site does not pose any further risk to the water environment by demonstrating that the requirements of the approved verification plan have been met and that remediation of the site is complete. This is in line with

paragraph 174 of the National Planning Policy Framework.

7. a) The development hereby permitted shall incorporate security measures to minimise the risk of crime and to meet the specific security needs of the development, in accordance with the principles and objectives of Secured by Design. Details of these measures shall be submitted to and approved in writing by the Local Planning Authority prior to commencement of any above ground development and shall be implemented in accordance with the approved details prior to occupation.

- b) Prior to first occupation of the development a satisfactory Secured by Design inspection must take place and the resulting Secured by Design certificate submitted to and approved in writing by the Local Planning Authority.

Reason: In pursuance of the Local Planning Authority's duty under Section 17 of the Crime and Disorder Act (1998) to consider crime and disorder implications in exercising its planning functions and to improve community safety and crime prevention, in accordance with the National Planning Policy Framework (2023); Policy D11 (Safety Security and Resilience to Emergency) of the London Plan (2021); and Policy P16 (Designing out Crime) of the Southwark Plan (2022).

Permission is subject to the following Grade Condition(s)

8. Before any façade works for each phase of development hereby authorised begins:
 - a) A materials schedule for that phase providing the specification of materials to be used in the approved elevations in constructing the development hereby approved shall be submitted to and approved in writing by the Local Planning Authority;

 - b) Sample panels of facing materials and surface finishes for the elevations within each phase, each to be at least 1 square metre in surface area, shall remain on site for inspection for the duration of the building's construction and be presented on site (or an alternative location agreed with the Local Planning Authority) to and thereafter approved in writing by the Local Planning Authority.

The development shall be carried out in accordance with any such approval given in relation to parts a) and b) above.

Reason: In order that the Local Planning Authority may be satisfied that these samples will make an acceptable contextual response in terms of materials to be used, and achieve a quality of design and detailing, are suitable in context and consistent with the consented scheme in accordance with the National Planning Policy Framework (2023); Policy D4 (Delivering good design) of the London Plan (2021); Policy P13 (Design of places) and Policy P14 (Design quality) of the Southwark Plan (2022).

9. Prior to the commencement of any above ground works (excluding demolition and archaeological investigation), the following details shall be submitted to the Local Planning Authority for its approval in writing: Section detail-drawings at a scale of at least 1:5 or 1:10 through:

the façades;

the balconies;

parapets; and

heads, cills and jambs of all openings.

The development shall not be carried out otherwise than in accordance with any such approval given.

Reason: In order that the Local Planning Authority may be satisfied as to the quality of the design and details in accordance with the National Planning Policy Framework (2023); Policy D4 (Delivering good design) of the London Plan (2021); Policy P13 (Design of places) and Policy P14 (Design quality) of the Southwark Plan (2022).

10. Details of Bee bricks and/or invertebrate hotels shall be submitted to and approved in writing by the Local Planning Authority prior to any superstructure works commencing on site.

No less than 6 Bee bricks and/or invertebrate hotels shall be provided and the details shall include the exact location, specification and design of the habitats. Bee bricks and/or invertebrate hotels shall be installed with the development prior to the first occupation of the building to which they form part or the first use of the space in which they are contained.

The Bee bricks and/or invertebrate hotels shall be installed strictly in accordance with the details so approved, shall be maintained as such thereafter.

Discharge of this condition will be granted on receiving the details of the invertebrate features and mapped locations and the Local Planning Authority agreeing the submitted plans, and once the invertebrate features are installed in full in accordance to the agreed plans.

Reason: To ensure the development provides the maximum possible provision towards creation of habitats and valuable areas for biodiversity in accordance with the National Planning Policy Framework (2023); Policy G1 (Green Infrastructure), Policy G5 (Urban Greening), Policy G6 (Biodiversity and access to nature) of the London Plan (2021); Policy P59 (Green infrastructure) and Policy P60 (Biodiversity) of the Southwark Plan (2022).

11. Details of integral nesting bricks shall be submitted to and approved in writing by the Local Planning Authority prior to any superstructure works commencing on site.

No less than 6 Swift nesting bricks shall be provided and the details shall include the exact location, specification and design of the bricks. The bricks shall be installed within the development prior to the first occupation of the building to which they form part or the first use of the space in which they are contained.

- Small scale developments should include at least 1 multi-chamber boxes or bricks per dwelling,
- Medium scale developments should include at least 5 multi-chamber boxes or bricks across the estate buildings,
- Major developments should incorporate at least 12 multi-chamber bricks or boxes across the estate buildings

The Swift nesting bricks shall be installed strictly in accordance with the details so approved, shall be maintained as such thereafter.

Discharge of this condition will be granted on receiving the details of the nest/roost features and mapped locations and the Local Planning Authority agreeing the submitted plans, and once the nest/roost features are installed in full in accordance to the agreed plans.

Reason: To ensure the development provides the maximum possible provision towards creation of habitats and valuable areas for biodiversity in

accordance with National Planning Policy Framework (2023); Policy G1 (Green Infrastructure), Policy G5 (Urban Greening), Policy G6 (Biodiversity and access to nature) of the London Plan (2021); Policy P59 (Green infrastructure) and Policy P60 (Biodiversity) of the Southwark Plan (2022).

12. Before any above grade work hereby authorised begins, detailed drawings of a hard and soft landscaping scheme showing the treatment of all parts of the site not covered by buildings (including cross sections, available rooting space, tree pits, surfacing materials of any parking, access, or pathways layouts, materials and edge details and short stay cycle parking details), shall be submitted to and approved in writing by the Local Planning Authority.

The landscaping shall not be carried out otherwise than in accordance with any such approval given and shall be retained for the duration of the use. The planting, seeding and/or turfing shall be carried out in the first planting season following completion of building works and any trees or shrubs that is found to be dead, dying, severely damaged or diseased within five years of the completion of the building works OR five years of the carrying out of the landscaping scheme (whichever is later), shall be replaced in the next planting season by specimens of the equivalent stem girth and species in the first suitable planting season.

Works shall comply to BS: 4428 Code of practice for general landscaping operations, BS: 5837 (2012) Trees in relation to demolition, design and construction; BS3998: (2010) Tree work - recommendations, BS 7370-4:1993 Grounds maintenance Recommendations for maintenance of soft landscape (other than amenity turf); EAS 03:2022 (EN) - Tree Planting Standard.

Reason: So that the Council may be satisfied with the details of the landscaping scheme, in accordance with: Chapters 8, 12, 15 and 16 of the National Planning Policy Framework 2023; Policies SI 4 (Managing heat risk), SI 13 (Sustainable drainage), G1 (Green Infrastructure, G5 (Urban Greening) and G7 (Trees and Woodlands) of the London Plan 2021; Policy P13 (Design of Places), Policy P14 (Design Quality), Policy P56 (Protection of Amenity), Policy P57 (Open Space), Policy P60 (Biodiversity) and P61 (Trees) of the Southwark Plan (2022).

13. Details of the biodiversity (green/brown) roof(s) shall be submitted to and approved in writing by the Local Planning Authority prior to any superstructure works commencing on site. The biodiversity (green/brown) roof(s) shall be:

Intensive green roof or vegetation over structure. Substrate minimum settled depth of 150mm,

Or, extensive green roof with substrate of minimum settled depth of 80mm (or 60mm beneath vegetation blanket) - meets the requirements of GRO Code 2014,

Laid out in accordance with roof plans; hereby approved; and

Planted/seeded with an agreed mix of species within the first planting season following the practical completion of the building works (focused on minimum 75% wildflower planting, and no more than a maximum of 25% sedum coverage).

The biodiversity (green/brown) roof shall not be used as an amenity or sitting out space of any kind whatsoever and shall only be used in the case of essential maintenance or repair, or escape in case of emergency.

The biodiversity roof(s) shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter.

Discharge of this condition will be granted on receiving the details of the green/brown roof(s) and the Local Planning Authority agreeing the submitted plans, and once the green/brown roof(s) are completed in full in accordance to the agreed plans.

Reason: To ensure the development provides the maximum possible provision towards creation of habitats and valuable areas for biodiversity as well as contributing to the Urban Greening Factor requirements of the London Plan (2021) with the aim of attaining a minimum score of 0.4 for residential developments and 0.3 for commercial developments in accordance with the National Planning Policy Framework (2023); Policy G1 (Green Infrastructure), Policy G5 (Urban Greening), Policy G6 (Biodiversity and access to nature); Policy P59 (Green infrastructure) and Policy P60 (Biodiversity) of the Southwark Plan (2022).

14. Prior to commencement of any above ground works the applicant will submit biological and habitat data extracted from any of the following reports:

- Preliminary Ecological Assessments
- Phase 1 ecology surveys & extended phase 1 habitat surveys
- Phase 2 habitat surveys

- Bat activity surveys & Bat roost surveys
- Bat emergence surveys
- Bird surveys - Inc. Black Redstart surveys
- Invertebrate surveys

This data will be forwarded to the London Biological Records Centre, Green Spaces information for Greater London (GiGL). The data should be presented in tabular form for ease of access.

Information on Green infrastructure features including Green/brown biodiverse roofs, Living Walls and new open space provision shall be submitted to the Local Planning Authority and the London Biological Records Centre, Green Spaces information for Greater London (GiGL).

This is to ensure that biological and 'Urban Greening' data is captured by the London records centre and in order to inform future developments and for monitoring of urban ecology.

Reason: To comply with National Planning Policy Framework (2023); Policy G6 (Biodiversity and access to nature) of the London Plan (2021) and Policy P59 (Green infrastructure) and P60 (Biodiversity) of the Southwark Plan (2022).

15. Details of bat tubes, bricks or boxes shall be submitted to and approved in writing by the Local Planning Authority prior to any superstructure works commencing on site.

No less than 3 bat tubes, bricks or boxes shall be provided and the details shall include the exact location, specification and design of the habitats. The bat tubes, bricks or boxes shall be installed with the development prior to the first occupation of the building to which they form part or the first use of the space in which they are contained.

The bat tubes, bricks or boxes shall be installed strictly in accordance with the details so approved, shall be maintained as such thereafter.

Discharge of this condition will be granted on receiving the details of the roost features and mapped locations and the Local Planning Authority agreeing the submitted plans, and once the roost features are installed in full in accordance to the agreed plans.

Reason: To ensure the development provides the maximum possible provision towards creation of habitats and valuable areas for biodiversity in accordance with the National Planning Policy Framework (2023); Policy G1 (Green Infrastructure), Policy G5 (Urban Greening), Policy G6 (Biodiversity and access to nature) of the London Plan (2021); Policy P59 (Green infrastructure) and Policy P60 (Biodiversity) of the Southwark Plan (2022).

Permission is subject to the following Pre-Occupation Condition(s)

16. The development shall not be occupied until confirmation has been submitted to and approved in writing by the Local Planning Authority (in consultation with Thames Water) that either:
 1. All wastewater network upgrades, all surface water network upgrades and all water network upgrades required to accommodate the additional flows to and from the development have been completed;
 - or
 2. A development and infrastructure phasing plan has been agreed with the Local Planning Authority (in consultation with Thames Water) to allow development to be occupied.

Where a development and infrastructure phasing plan is agreed, no occupation shall take place other than in accordance with the agreed development and infrastructure phasing plan.

Reason: Thames Water has identified an inability of the existing water network infrastructure, surface water infrastructure, and foul water network infrastructure to accommodate the needs of this development. Network reinforcement works are likely to be required to accommodate the proposed development. The development may lead to no / low water pressure and network reinforcement works are anticipated to be necessary to ensure that sufficient capacity is made available to accommodate additional demand anticipated from the new development. The condition is necessary to ensure

compliance with Policy SI5 (Water infrastructure) of the London Plan (2021); IP1 (Infrastructure) and Policy P67 (Reducing water use) of the Southwark Plan (2022).

17. Prior to the occupation of the development the post-construction tab of the GLA's Whole Life-Cycle Carbon Assessment template should be completed in line with the GLA's Whole Life-Cycle Carbon Assessment Guidance.

The Post-Construction Assessment should be submitted to the GLA at: ZeroCarbonPlanning@london.gov.uk, along with any supporting evidence as per the guidance. Confirmation of submission to the GLA shall be submitted to, and approved in writing by, the Local Planning Authority, prior to occupation of the development.

Reason: In the interests of sustainable development and to maximise on-site carbon dioxide savings in compliance with the National Planning Policy Framework (2023); Policy SI 2 (Minimising Greenhouse Gas Emissions) of the London Plan (2021) and Policy P70 (Energy) of the Southwark Plan (2022).

18. (a) The development hereby approved shall achieve a BREEAM rating of 'Excellent' or higher, and shall achieve no less than the total credits for each of the Energy, Materials and Waste categories in the BREEAM Pre-Assessment hereby approved.

(b) Before the first occupation of the building hereby permitted, a certified Post Construction Review (or other verification process agreed with the Local Planning Authority) shall be submitted to and approved in writing by the Local Planning Authority, confirming that the agreed 'Excellent' standard at as outlined within the submitted BREEAM pre-assessment have been met.

Reason: To ensure the proposal complies with the National Planning Policy Framework (2023); Policy SI 2 (Minimising Greenhouse Gas Emissions) of the London Plan (2021) and Policy P69 (Sustainability standards) and Policy P70 (Energy) of the Southwark Plan (2022).

19. The Rated sound level from any plant, together with any associated ducting, shall not exceed the Background sound level (LA90 15min) at the nearest noise sensitive premises. Furthermore, the Specific plant sound level shall be 10dB(A) or more below the background sound level in this location. For the purposes of this condition the Background, Rating and Specific Sound levels

shall be calculated fully in accordance with the methodology of BS4142:2014+A1:2019.

Suitable acoustic treatments shall be used to ensure compliance with the above standard. A validation test shall be carried out and the results submitted to the Local Planning Authority for approval in writing to demonstrate compliance with the above standard. Once approved the plant and any acoustic treatments shall be permanently maintained thereafter.

Reason

To ensure that occupiers of neighbouring premises do not suffer a loss of amenity by reason of noise nuisance or the local environment from noise creep due to plant and machinery in accordance with the Southwark Plan 2022 Policy P56 (Protection of amenity); Policy P66 (Reducing noise pollution and enhancing soundscapes), and the National Planning Policy Framework 2023.

20. The development must be designed to ensure that habitable rooms are not exposed to entertainment noise in excess of 27dB LAeq (5 minute). Prior to first occupation a written report shall be submitted to and approved by the Local Planning Authority detailing acoustic predictions and any necessary mitigation measures to ensure the above standard is met. The approved scheme shall be permanently maintained thereafter.

Reason

To ensure that the occupiers and users of the development do not suffer a loss of amenity by reason of excess noise from environmental and transportation sources in accordance with the Southwark Plan 2022 Policy P56 (Protection of amenity); Policy P66 (Reducing noise pollution and enhancing soundscapes), and the National Planning Policy Framework 2021.

21. Prior to first occupation of the development hereby permitted a Delivery and Service Management Plan detailing how all elements of the site are to be serviced shall be submitted to and approved by the Local Planning Authority. The servicing of the development shall be carried out in accordance with the approval given and the Service Management Plan shall remain extant for as long as the development is occupied.

Reason: To ensure compliance with the National Planning Policy Framework (2023); Policy P49 (Public transport); Policy P50 (Highways impacts); Policy

P51 (Walking) of the Southwark Plan (2022).

22. Prior to the occupation of the development, a landscape management plan, including long term design objectives, management responsibilities and maintenance schedules for all landscape areas, other than small, privately owned, domestic gardens, shall be submitted to and approved by the Local Planning Authority.

Details of an irrigation schedule shall be provided for all trees to ensure successful establishment.

For stem girths of up to 20cm the schedule shall be a minimum of three years, and five years for stem girths greater than 20cm. The landscape management plan shall be carried out as approved and any subsequent variations shall be agreed in writing by the local planning authority.

If within a period of five years from the date of the planting of any tree that tree, or any tree planted in replacement for it, is removed, uprooted or destroyed or dies, or becomes, in the opinion of the local planning authority, seriously damaged or defective, another tree of the same species and size as that originally planted shall be planted at the same place in the first suitable planting season., unless the local planning authority gives its written consent to any variation.

Works shall comply to BS: 4428 Code of practice for general landscaping operations, BS: 8545 (2014) Trees: from nursery to independence in the landscape; BS3998: (2010) Tree work - recommendations; BS 7370-4:1993 Grounds maintenance Recommendations for maintenance of soft landscape (other than amenity turf); EAS 01:2021 (EN) -Tree Pruning Standard; EAS 03:2022 (EN) -Tree Planting Standard.

Reason: So that the Council may be satisfied with the details of the landscaping scheme, in accordance with: Chapters 8, 12, 15 and 16 of the National Planning Policy Framework 2023; Policies SI 4 (Managing heat risk), SI 13 (Sustainable drainage), G1 (Green Infrastructure, G5 (Urban Greening) and G7 (Trees and Woodlands) of the London Plan 2021; Policy P13 (Design of Places), Policy P14 (Design Quality), Policy P56 (Protection of Amenity), Policy P57 (Open Space), Policy P60 (Biodiversity) and P61 (Trees) of the Southwark Plan (2022).

23. The development hereby approved shall not be occupied until a drainage verification report prepared by a suitably qualified engineer has been submitted to and approved in writing by the Local Planning Authority. The report shall provide evidence that the drainage system (incorporating SuDS) has been constructed according to the approved details and specifications (or detail any minor variations where relevant) as detailed in the FRA V3 hereby approved and shall include plans, photographs and national grid references of key components of the drainage network such as surface water attenuation structures, flow control devices and outfalls. The report shall also include details of the responsible management company.

Reason: To ensure the surface water drainage complies with the National Planning Policy Framework (2023); Policy SI 13 (Sustainable drainage) of the London Plan (2021); Southwark's Strategic Flood Risk Assessment (2017) and Policy P68 (Reducing flood risk) of the Southwark Plan (2022).

24. Prior to first occupation of the development hereby approved;, a Post Construction Monitoring Report should be completed in line with the GLA's Circular Economy Statement Guidance. The Post Construction Monitoring Report shall be submitted to the GLA, currently via email at: circulareconomystatements@london.gov.uk, along with any supporting evidence as per the guidance. Confirmation of submission to the GLA shall be submitted to, and approved in writing by, the Local Planning Authority, prior to first occupation of the development hereby approved.

Reason: In the interests of sustainable waste management and in order to maximise the re-use of materials in accordance with Policy P62 (Reducing waste) of the Southwark Plan (2022).

25. Prior to any part of the permitted development being occupied, a verification report demonstrating the completion of works set out in the approved remediation strategy and the effectiveness of the remediation shall be submitted to, and approved in writing, by the local planning authority. The report shall include results of sampling and monitoring carried out in accordance with the approved verification plan to demonstrate that the site remediation criteria have been met.

Reasons

To ensure that the site does not pose any further risk to the water environment by demonstrating that the requirements of the approved verification plan have been met and that remediation of the site is complete. This is in line with paragraph 174 of the National Planning Policy Framework.

26. (i) The development shall be undertaken in full accordance with the Urban Greening Factor report hereby approved.
(ii) Prior to first occupation of the development hereby approved the applicant shall submit evidence that the development has been constructed in full accordance with the details contained in the UGF Assessment hereby approved.

Reason: In order to ensure that the development has maximised opportunities for urban greening in accordance with Policy G5 (Urban Greening) of the London Plan 2021 and Policy P60 (Biodiversity) of the Southwark Plan 2022

Permission is subject to the following Compliance Condition(s)

27. The windows on the south elevation of the building (as annotated on the floor plans hereby approved) shall be obscure glazed and fixed shut and shall not be replaced or repaired otherwise than with obscure glazing.

Reason: In order to protect the privacy and amenity of the occupiers and users of the proposed co-living studio and the adjoining premises from undue overlooking in accordance with the National Planning Policy Framework (2023) and Policy P56 (Protection of amenity) of the Southwark Plan (2022).

28. Before the first occupation of the development hereby approved, the cycle facilities (including cycle storage, showers, changing rooms and lockers where appropriate) as shown on the drawings hereby approved SM2104-P17 Proposed Basement Floor Plan shall be provided and made available to the users of the development. Thereafter, such facilities shall be retained and maintained in perpetuity.

Reason: To ensure that satisfactory safe and secure bicycle parking is provided and retained for the benefit of the users and occupiers of the building in order to encourage the use of alternative means of transport and to reduce reliance on the use of the private car in accordance with the National Planning Policy Framework (2023); Policy T5 (Cycling) of the London Plan (2021); and Policy P53 (Cycling) of the Southwark Plan (2022).

29. Party walls, floors and ceilings between the commercial premises and

residential dwellings shall be designed to achieve a minimum weighted standardized level difference of 55dB DnTw+Ctr. The partition's acoustic performance shall be permanently maintained thereafter.

Reason:

To ensure that the occupiers and users of the proposed development do not suffer a loss of amenity by reason of noise nuisance and other excess noise from activities within the commercial premises in accordance with the Southwark Plan 2022 Policy P56 (Protection of amenity); Policy P66 (Reducing noise pollution and enhancing soundscapes), and the National Planning Policy Framework 2023.

30. Notwithstanding the provisions of Schedule 2, Part 16 The Town & Country Planning (General Permitted Development) Order 2015 (as amended or re-enacted) no external telecommunications equipment or structures shall be placed on the roof or any other part of a building hereby permitted.

Reason: In order to ensure that no telecommunications plant or equipment which might be detrimental to the design and appearance of the building and visual amenity of the area is installed on the roof of the building in accordance with the National Planning Policy Framework (2023); Policy P55 (Protection of amenity) and Policy P13 (Design of places) of the Southwark Plan (2022).

31. Before the first occupation of the development hereby approved, the refuse storage arrangements (individuals bin stores, routes to bin stores, bin collection locations, levels and gradients to and from the store, bulky waste storage) as shown on the drawings hereby approved shall be provided and made available to the users of the development. Thereafter, such facilities shall be retained and maintained in perpetuity.

Reason: To accord with Southwark's requirements for Waste Management and refuse collection arrangements (Waste Management Strategy Extension 2022 - 2025).

32. The development hereby approved shall include all stated measures for the mitigation of impact and enhancement of biodiversity, set out in the Biodiversity Impact Assessment hereby approved. The measures shall be implemented in full prior to the new development being first occupied, or in accordance with the timetable detailed in the approved scheme.

Reason: To ensure the development provides the maximum possible

provision towards creation of habitats and valuable areas for biodiversity as well as contributing to the Urban Greening Factor requirements of the London Plan (2021) with the aim of attaining a minimum score of 0.4 for residential developments and 0.3 for commercial developments in accordance with the National Planning Policy Framework (2023); Policy G1 (Green infrastructure), Policy G5 (Urban greening), Policy G6 (Biodiversity and access to nature), and Policy SI 13 (Sustainable drainage) of the London Plan (2021); Policy P59 (Green infrastructure) and P60 (Biodiversity) of the Southwark Plan (2022).

33. Any external lighting system installed at the development shall comply with Institute of Lighting Professionals Guidance Note 01/21 'Guidance notes for the reduction of obtrusive light'.

Reason

In order that the Council may be satisfied as to the details of the development in the interest of the visual amenity of the area, the amenity and privacy of adjoining occupiers, and their protection from light nuisance, in accordance with the Southwark Plan 2022 Policy P16 (Designing out crime); Policy P56 (Protection of amenity), and the National Planning Policy Framework 2023.

34. The development shall be carried out in accordance with the approved digital connectivity infrastructure strategy entitled Energy Infrastructure Report Jan 2023 and shall be maintained as such in perpetuity.

Reason: To provide high quality digital connectivity infrastructure to contribute to London's global competitiveness, in accordance with the National Planning Policy Framework (2023), Policy SI 6 (Digital Connectivity Infrastructure) of the London Plan (2021) and Policy P44 (Broadband and digital infrastructure) of the Southwark Plan (2022).

35. The development shall be carried out in accordance with the approved Energy Strategy L220300 Rev 02 and Sustainability Statement L220300 Rev 01. The energy efficiency and sustainability measures set out there in shall be completed and made operational prior to the first occupation of the development and retained for the lifetime of the development.

The development shall achieve regulated carbon dioxide emission savings of no less than 58%% against the Target Emissions Rate of Part L of Building Regulations 2021 as set out in the approved Energy Strategy.

Reason: To ensure the development minimises operational carbon dioxide emissions and achieves the highest levels of sustainable design and construction in accordance with Policy SI 2 (Minimising greenhouse gas emissions) in the London Plan (2021) and Policy P70 (Energy) in Southwark Plan (2022).

36. No roof plant, equipment or other structures, other than as shown on the plans hereby approved or approved pursuant to a condition of this permission, shall be placed on the roof or be permitted to project above the roofline of any part of the buildings as shown on elevation drawings.

Reason: In order to ensure that no additional plant is placed on the roof of the building in the interest of the appearance and design of the building and the visual amenity of the area in accordance with the National Planning Policy Framework (2023); Policy D4 (Delivering good design) of the London Plan (2021); Policy P13 (Design of places), Policy P14 (Design quality) and Policy P56 (Protection of amenity) of the Southwark Plan (2022).

37. The development hereby approved shall be carried out in accordance with the recommendations of the Fire Strategy BB-LPS-10022-OF-01 prepared by BBS unless a revised Fire Statement is submitted to and approved in writing by the Local Planning Authority prior to the relevant works being carried out.

Reason: To ensure that the development incorporates the necessary fire safety measures in accordance with Policy D12 (Fire safety) of the London Plan (2021).

38. The use hereby permitted for commercial cafe (Use Class E) shall not be carried on outside of the hours 07:00 to 23:00 on Monday to Saturday or 07:00 to 22:00 on Sundays.

Reason: To safeguard the amenity of neighbouring residential properties in accordance with the National Planning Policy Framework (2023); Policy P56 (Protection of amenity) and Policy P66 (Reducing noise pollution and enhancing soundscapes) of the Southwark Plan (2022).

39. The communal outdoor amenity areas shall not be used, other than for maintenance, repair or means of escape, between the hours of 22:00 and 08:00 on any day.

Reason: To ensure that occupiers of neighbouring premises do not suffer a loss of amenity by reason of noise nuisance in accordance with the National Planning Policy Framework (2023); Policy P56 (Protection of amenity) and P66 (Reducing noise and enhancing soundscapes) of the Southwark Plan (2022).

40. The development hereby permitted shall be carried out in accordance with the approved Flood Risk Assessment FRA SUDS 1v3 unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure the development is designed safely in reference to flood risk in accordance with the National Planning Policy Framework (2023); Policy SI 12 (Flood risk management) of the London Plan (2021); and Policy P68 (Reducing flood risk) of the Southwark Plan (2022).

42. No cooking or preparation of any other kind of hot food shall take place from within the commercial unit (Use Class E) hereby approved unless otherwise agreed with the Local Planning Authority.

Reason: In order to ensure that the occupiers at the nearby residential buildings and the co living units within the consented development itself are protected from nuisance odours or fume, in the interests of protecting their residential amenity, in accordance with the National Planning Policy Framework (2023) and Policy P56 (Protection of amenity) of the Southwark Plan (2022)

Informatives

- 1 The proposed development is located within 15 metres of Thames Waters underground assets and as such, the development could cause the assets to fail if appropriate measures are not taken. Please read our guide 'working near our assets' to ensure your workings are in line with the necessary processes you need to follow if you're considering working above or near our pipes or other structures.

<https://www.thameswater.co.uk/developers/larger>

scaleddevelopments/planning-your-development/working-near-our-pipes

Should you require further information please contact Thames Water. Email: developer.services@thameswater.co.uk Phone: 0800 009 3921 (Monday to Friday, 8am to 5pm) Write to: Thames Water Developer Services, Clearwater Court, Vastern Road, Reading, Berkshire RG1 8DB

- 2 Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required. Should you require further information please refer to our website. <https://www.thameswater.co.uk/developers/larger-scaledevelopments/planning-your-development/working-near-our-pipes>

As required by Building regulations part H paragraph 2.36, Thames Water requests that the Applicant should incorporate within their proposal, protection to the property to prevent sewage flooding, by installing a positive pumped device (or equivalent reflecting technological advances), on the assumption that the sewerage network may surcharge to ground level during storm conditions. If as part of the basement development there is a proposal to discharge ground water to the public network, this would require a Groundwater Risk Management Permit from Thames Water.

Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. We would expect the developer to demonstrate what measures will be undertaken to minimise groundwater discharges into the public sewer. Permit enquiries should be directed to Thames Water's Risk Management Team by telephoning 02035779483 or by emailing trade.effluent@thameswater.co.uk . Application forms should be completed on line via www.thameswater.co.uk. Please refer to the Wholesale; Business customers; Groundwater discharges section.

There are public sewers crossing or close to your development. If you're planning significant work near our sewers, it's important that you minimize the risk of damage. We'll need to check that your development doesn't limit repair or maintenance activities, or inhibit the services we provide in any other way. The applicant is advised to read our guide working near or diverting our pipes. <https://www.thameswater.co.uk/developers/larger-scale-developments/planningyour-development/working-near-our-pipes>

- 3 Thames Water will aim to provide customers with a minimum pressure of 10m head (approx 1 bar) and a flow rate of 9 litres/minute at the point where it leaves Thames Waters pipes. The developer should take account of this minimum pressure in the design of the proposed development.

There are water mains crossing or close to your development. Thames Water do NOT permit the building over or construction within 3m of water mains. If you're planning significant works near our mains (within 3m) we'll need to check that your development doesn't reduce capacity, limit repair or maintenance activities during and after construction, or inhibit the services we provide in any other way. The applicant is advised to read our guide working

near or diverting our pipes.

<https://www.thameswater.co.uk/developers/larger-scale-developments/planningyour-development/working-near-our-pipes>

The proposed development is located within 15m of Thames Waters underground assets, as such the development could cause the assets to fail if appropriate measures are not taken. Please read our guide 'working near our assets' to ensure your workings are in line with the necessary processes you need to follow if you're considering working above or near our pipes or other structures.

<https://www.thameswater.co.uk/developers/larger-scale-developments/planningyour-development/working-near-our-pipes>

Should you require further information please contact Thames Water.

Email: developer.services@thameswater.co.uk

Relevant Planning Policies

National Planning Policy Framework

The revised National Planning Policy Framework ('NPPF') was published in December 2023 which sets out the national planning policy and how this needs to be applied. The NPPF focuses on sustainable development with three key objectives: economic, social and environmental.

Paragraph 218 states that the policies in the Framework are material considerations which should be taken into account in dealing with applications.

Chapter 2 Achieving sustainable development
Chapter 5 Delivering a sufficient supply of homes
Chapter 6 Building a strong, competitive economy
Chapter 7 Ensuring the vitality of town centres
Chapter 8 Promoting healthy and safe communities
Chapter 9 Promoting sustainable transport
Chapter 11 Making effective use of land
Chapter 12 Achieving well-designed places
Chapter 14 Meeting the challenge of climate change, flooding and coastal change
Chapter 15 Conserving and enhancing the natural environment
Chapter 16 Conserving and enhancing the historic environment

London Plan 2021 Policies

On 2 March 2021, the Mayor of London published the London Plan 2021. The spatial development strategy sets a strategic framework for planning in Greater London and forms part of the statutory Development Plan for Greater London.

The relevant policies are:

GG1 Building strong and inclusive communities
GG2 Making the best use of land
GG3 Creating a healthy city
GG4 Delivering the homes Londoners need
GG5 Growing a good economy
GG6 Increasing efficiency and resilience

Policy SD1 Opportunity Areas
Policy SD7 Town centres: development principles and Development Plan Documents
Policy SD10 Strategic and local regeneration

Policy D1 London's form, character and capacity for growth
Policy D2 Infrastructure requirements for sustainable densities

Policy D3 Optimising site capacity through the design-led approach
Policy D4 Delivering good design
Policy D5 Inclusive design
Policy D8 Public realm
Policy D9 Tall buildings
Policy D10 Basement development
Policy D11 Safety, security and resilience to emergency
Policy D12 Fire safety
Policy D13 Agent of Change
Policy D14 Noise
Policy H1 Increasing housing supply
Policy H4 Delivering affordable housing
Policy H5 Threshold approach to applications
Policy H6 Affordable housing tenure
Policy H7 Monitoring of affordable housing
Policy H16 Large-scale purpose-built shared living
Policy E11 Skills and opportunities for all
Policy HC1 Heritage conservation and growth
Policy G1 Green infrastructure
Policy G5 Urban greening
Policy G6 Biodiversity and access to nature
Policy G7 Trees and woodlands
Policy SI 1 Improving air quality
Policy SI 2 Minimising greenhouse gas emissions
Policy SI 4 Managing heat risk
Policy SI 5 Water infrastructure
Policy SI 6 Digital connectivity infrastructure
Policy SI 7 Reducing waste and supporting the circular economy
Policy SI 8 Waste capacity and net waste self-sufficiency
Policy SI 12 Flood risk management
Policy SI 13 Sustainable drainage
Policy T1 Strategic approach to transport
Policy T2 Healthy Streets
Policy T3 Transport capacity, connectivity and safeguarding
Policy T4 Assessing and mitigating transport impacts
Policy T5 Cycling
Policy T6 Car parking
Policy T6.1 Residential parking
Policy T6.5 Non-residential disabled persons parking
Policy T7 Deliveries, servicing and construction
Policy T9 Funding transport infrastructure through planning

Southwark Plan 2022

ST1 Southwark's Development targets
ST2 Southwark's Places
SP1 Homes for all
SP2 Southwark Together
SP3 Great start in life
SP4 Green and inclusive economy

SP5 Thriving neighbourhoods and tackling health equalities
SP6 Climate Change
AV.15 Rotherhithe Area Vision
P1 Social rented and intermediate housing
P6 Purpose built shared living
P8 Wheelchair accessible and adaptable housing
P13 Design of places
P14 Design quality
P15 Residential design
P16 Designing out crime
P17 Tall buildings
P18 Efficient use of land
P23 Archaeology
P28 Access to employment and training
P44 Broadband and digital infrastructure
P49 Public transport
P50 Highways impacts
P51 Walking
P53 Cycling
P54 Car Parking
P55 Parking standards for disabled people and the mobility impaired
P56 Protection of amenity
P59 Green infrastructure
P60 Biodiversity
P61 Trees
P62 Reducing waste
P64 Contaminated land and hazardous substances
P65 Improving air quality
P66 Reducing noise pollution and enhancing soundscapes
P67 Reducing water use
P68 Reducing flood risk
P69 Sustainability standards
P70 Energy
NSP80 Decathlon Site and Mulberry Business Park

Mayors SPD/SPGs

Development viability LPG (draft)
Affordable Housing LPG (draft)
Affordable housing and viability SPG
Optimizing Site Capacity: A Design-led Approach LPG
Social Infrastructure SPG
Accessible London SPG
The control of dust and emissions in construction SPG
Air quality positive LPG
Air quality neutral LPG
Be seen energy monitoring LPG
Circular economy statements LPG
Energy Planning Guidance
Whole life carbon LPG
Digital connectivity LGP (draft)

Urban greening factor LPG
Planning for Equality and Diversity SPG
Fire Safety LPG (draft)
Public London Charter LPG
Characterization and Growth Strategy LPG
Large scale purpose built shared living LPG

Southwark SPDs/SPGs

Affordable Housing (2008)
Draft Affordable Housing (2011)
Design and Access Statements (2007)
Development Viability (2016)
Residential Design Standards (2011 with 2015 update)
S106 and CIL (2015)
S106 and CIL Addendum (2017)

Planning history of the site and nearby sites

No relevant planning history

Consultation undertaken

Site notice date: 11/05/2023

Press notice date: 11/05/2023

Case officer site visit date: n/a

Neighbour consultation letters sent: 16/05/2024

Internal services consulted

LBS Archaeology
LBS Community Infrastructure Levy Team
LBS Network Development
LBS Design & Conservation Team [Formal]
LBS Local Economy
LBS Ecology
LBS Environmental Protection
LBS Highways Development & Management
LBS Flood Risk Management & Urban Drain
LBS Transport Policy
LBS Urban Forester
LBS Waste Management
LBS Flood Risk Management & Urban Drain
LBS Community Infrastructure Levy Team
formal consultation and response to Pol
LBS Flood Risk Management & Urban Drain

Statutory and non-statutory organisations

Great London Authority
Environment Agency
Historic England
London Fire & Emergency Planning Authority
London Underground
Metropolitan Police Service (Designing O
Transport for London
Thames Water

Neighbour and local groups consulted:

683 Pavillion House Water Gardens	Square London
Square London	538 Giverny House Water Gardens
564 Giverny House Water Gardens	Square London

504 Giverny House Water Gardens Square London	2 Roberts Close London Southwark
624 Pavillion House Water Gardens Square London	The League Of Adventure Canada Street London
533 Giverny House Water Gardens Square London	Alfred Salter Primary School Quebec Way London
555 Giverny House Water Gardens Square London	Flat 31 Whaling House Canada Street
625 Pavillion House Water Gardens Square London	Flat 17 Whaling House Canada Street
563 Giverny House Water Gardens Square London	Flat 15 Whaling House Canada Street
661 Pavillion House Water Gardens Square London	Flat 4 Whaling House Canada Street
681 Pavillion House Water Gardens Square London	Flat 3 Whaling House Canada Street
552 Giverny House Water Gardens Square London	Apartment 68 Claremont House 28 Quebec Way
524 Giverny House Water Gardens Square London	Apartment 57 Claremont House 28 Quebec Way
573 Giverny House Water Gardens Square London	Apartment 51 Claremont House 28 Quebec Way
571 Giverny House Water Gardens Square London	Apartment 24 Claremont House 28 Quebec Way
501 Giverny House Water Gardens Square London	Apartment 22 Claremont House 28 Quebec Way
645 Pavillion House Water Gardens Square London	Apartment 9 Claremont House 28 Quebec Way
641 Pavillion House Water Gardens Square London	Unit 1 Canada Water Retail Park Surrey Quays Road
632 Pavillion House Water Gardens Square London	Flat 32 Whaling House Canada Street
642 Pavillion House Water Gardens Square London	Flat 29 Whaling House Canada Street
East Warehouse Canada Water Retail Park Surrey Quays Road	Flat 27 Whaling House Canada Street
Unit 4 Canada Water Retail Park Surrey Quays Road	Flat 23 Whaling House Canada Street
Printworks Surrey Quays Road London	Flat 11 Whaling House Canada Street
Portacabins Canada Water Retail Park Surrey Quays Road	Apartment 46 Claremont House 28 Quebec Way
11 Canada Street London Southwark	Apartment 44 Claremont House 28 Quebec Way
29 Canada Street London Southwark	Apartment 41 Claremont House 28 Quebec Way
Dirtybird Restaurant Printworks Surrey Quays Road	Apartment 36 Claremont House 28 Quebec Way
Unit 1 24 Quebec Way London	Apartment 26 Claremont House 28 Quebec Way
Unit 2 And 3 24 Quebec Way London	Apartment 25 Claremont House 28 Quebec Way
6 Roberts Close London Southwark	Apartment 15 Claremont House 28 Quebec Way
3 Roberts Close London Southwark	Apartment 13 Claremont House 28 Quebec Way
5 Roberts Close London Southwark	Apartment 11 Claremont House 28 Quebec Way
4 Roberts Close London Southwark	Apartment 8 Claremont House 28 Quebec Way
1 Roberts Close London Southwark	Flat 24 Whaling House Canada Street
	Flat 21 Whaling House Canada Street
	Flat 19 Whaling House Canada Street

527 Giverny House Water Gardens Square London	603 Pavillion House Water Gardens Square London
528 Giverny House Water Gardens Square London	512 Giverny House Water Gardens Square London
633 Pavillion House Water Gardens Square London	572 Giverny House Water Gardens Square London
544 Giverny House Water Gardens Square London	561 Giverny House Water Gardens Square London
691 Pavillion House Water Gardens Square London	541 Giverny House Water Gardens Square London
601 Pavillion House Water Gardens Square London	631 Pavillion House Water Gardens Square London
505 Giverny House Water Gardens Square London	Flat 16 Whaling House Canada Street
514 Giverny House Water Gardens Square London	Flat 6 Whaling House Canada Street
547 Giverny House Water Gardens Square London	Flat 2 Whaling House Canada Street
665 Pavillion House Water Gardens Square London	6 Mulberry Walk London Southwark
535 Giverny House Water Gardens Square London	2 Mulberry Walk London Southwark
534 Giverny House Water Gardens Square London	Apartment 55 Claremont House 28 Quebec Way
542 Giverny House Water Gardens Square London	Apartment 67 Claremont House 28 Quebec Way
602 Pavillion House Water Gardens Square London	Apartment 65 Claremont House 28 Quebec Way
673 Pavillion House Water Gardens Square London	Apartment 64 Claremont House 28 Quebec Way
503 Giverny House Water Gardens Square London	Apartment 62 Claremont House 28 Quebec Way
643 Pavillion House Water Gardens Square London	Apartment 62 Claremont House 28 Quebec Way
644 Pavillion House Water Gardens Square London	Apartment 59 Claremont House 28 Quebec Way
523 Giverny House Water Gardens Square London	Apartment 54 Claremont House 28 Quebec Way
613 Pavillion House Water Gardens Square London	Apartment 49 Claremont House 28 Quebec Way
604 Pavillion House Water Gardens Square London	Apartment 49 Claremont House 28 Quebec Way
537 Giverny House Water Gardens Square London	Apartment 34 Claremont House 28 Quebec Way
511 Giverny House Water Gardens Square London	Apartment 30 Claremont House 28 Quebec Way
574 Giverny House Water Gardens Square London	Apartment 23 Claremont House 28 Quebec Way
662 Pavillion House Water Gardens Square London	Apartment 23 Claremont House 28 Quebec Way
553 Giverny House Water Gardens Square London	Apartment 18 Claremont House 28 Quebec Way
	Apartment 18 Claremont House 28 Quebec Way
	Apartment 2 Claremont House 28 Quebec Way
	Apartment 2 Claremont House 28 Quebec Way
	Flat 10 Whaling House Canada Street
	1 Mulberry Walk London Southwark
	Apartment 66 Claremont House 28 Quebec Way
	Apartment 48 Claremont House 28 Quebec Way
	Apartment 48 Claremont House 28 Quebec Way
	Apartment 45 Claremont House 28 Quebec Way
	Apartment 45 Claremont House 28 Quebec Way
	Apartment 39 Claremont House 28 Quebec Way

Quebec Way
 Apartment 31 Claremont House 28
 Quebec Way
 Apartment 28 Claremont House 28
 Quebec Way
 Apartment 21 Claremont House 28
 Quebec Way
 Apartment 19 Claremont House 28
 Quebec Way
 Apartment 6 Claremont House 28
 Quebec Way
 Apartment 5 Claremont House 28
 Quebec Way
 Flat 28 Whaling House Canada Street
 Flat 18 Whaling House Canada Street
 Flat 13 Whaling House Canada Street
 Flat 12 Whaling House Canada Street
 Flat 8 Whaling House Canada Street
 Flat 7 Whaling House Canada Street
 5 Mulberry Walk London Southwark
 4 Mulberry Walk London Southwark
 Apartment 60 Claremont House 28
 Quebec Way
 Apartment 52 Claremont House 28
 Quebec Way
 Apartment 50 Claremont House 28
 Quebec Way
 Apartment 47 Claremont House 28
 Quebec Way
 Apartment 35 Claremont House 28
 Quebec Way
 Apartment 32 Claremont House 28
 Quebec Way
 Apartment 27 Claremont House 28
 Quebec Way
 Apartment 1 Claremont House 28
 Quebec Way
 Flat 33 Whaling House Canada Street
 Flat 30 Whaling House Canada Street
 Flat 26 Whaling House Canada Street
 Flat 25 Whaling House Canada Street
 Flat 9 Whaling House Canada Street
 Apartment 63 Claremont House 28
 Quebec Way
 Apartment 58 Claremont House 28
 Quebec Way
 Apartment 43 Claremont House 28
 Quebec Way
 Apartment 29 Claremont House 28
 Quebec Way
 Apartment 4 Claremont House 28
 Quebec Way
 Flat 14 Whaling House Canada Street
 7 Mulberry Walk London Southwark
 3 Mulberry Walk London Southwark
 Phantom Peak Surrey Quays Road
 London
 Apartment 69 Claremont House 28
 Quebec Way
 Apartment 61 Claremont House 28
 Quebec Way
 Apartment 38 Claremont House 28
 Quebec Way
 Apartment 37 Claremont House 28
 Quebec Way
 Apartment 17 Claremont House 28
 Quebec Way
 Apartment 16 Claremont House 28
 Quebec Way
 Apartment 14 Claremont House 28
 Quebec Way
 Apartment 10 Claremont House 28
 Quebec Way
 Flat 22 Whaling House Canada Street
 Flat 20 Whaling House Canada Street
 Flat 5 Whaling House Canada Street
 Flat 1 Whaling House Canada Street
 Apartment 70 Claremont House 28
 Quebec Way
 Apartment 56 Claremont House 28
 Quebec Way
 Apartment 53 Claremont House 28
 Quebec Way
 Apartment 42 Claremont House 28
 Quebec Way
 Apartment 40 Claremont House 28
 Quebec Way
 Apartment 33 Claremont House 28
 Quebec Way
 Apartment 20 Claremont House 28
 Quebec Way
 Apartment 12 Claremont House 28
 Quebec Way
 Apartment 7 Claremont House 28
 Quebec Way
 Apartment 3 Claremont House 28
 Quebec Way
 1 Surrey Quays Road London Southwark
 5 Maple Way London Southwark
 Apartment 81 4 Maple Way London
 Apartment 80 4 Maple Way London
 Apartment 79 4 Maple Way London
 Apartment 74 4 Maple Way London
 Apartment 75 4 Maple Way London

Apartment 84 4 Maple Way London	Square London
Apartment 78 4 Maple Way London	566 Giverny House Water Gardens
Apartment 77 4 Maple Way London	Square London
Apartment 82 4 Maple Way London	531 Giverny House Water Gardens
Apartment 73 4 Maple Way London	Square London
Apartment 72 4 Maple Way London	502 Giverny House Water Gardens
6 Maple Way London Southwark	Square London
3 Maple Way London Southwark	663 Pavillion House Water Gardens
1 Maple Way London Southwark	Square London
Apartment 71 4 Maple Way London	551 Giverny House Water Gardens
Apartment 76 4 Maple Way London	Square London
2 Maple Way London Southwark	612 Pavillion House Water Gardens
Apartment 83 4 Maple Way London	Square London
525 Giverny House Water Gardens	692 Pavillion House Water Gardens
Square London	Square London
651 Pavillion House Water Gardens	548 Giverny House Water Gardens
Square London	Square London
536 Giverny House Water Gardens	652 Pavillion House Water Gardens
Square London	Square London
565 Giverny House Water Gardens	615 Pavillion House Water Gardens
Square London	Square London
623 Pavillion House Water Gardens	557 Giverny House Water Gardens
Square London	Square London
562 Giverny House Water Gardens	556 Giverny House Water Gardens
Square London	Square London
546 Giverny House Water Gardens	554 Giverny House Water Gardens
Square London	Square London
545 Giverny House Water Gardens	532 Giverny House Water Gardens
Square London	Square London
526 Giverny House Water Gardens	522 Giverny House Water Gardens
Square London	Square London
521 Giverny House Water Gardens	664 Pavillion House Water Gardens
Square London	Square London
513 Giverny House Water Gardens	621 Pavillion House Water Gardens
Square London	Square London
671 Pavillion House Water Gardens	622 Pavillion House Water Gardens
Square London	Square London
655 Pavillion House Water Gardens	614 Pavillion House Water Gardens
Square London	Square London
653 Pavillion House Water Gardens	682 Pavillion House Water Gardens
Square London	Square London
634 Pavillion House Water Gardens	515 Giverny House Water Gardens
Square London	Square London
543 Giverny House Water Gardens	672 Pavillion House Water Gardens
Square London	Square London
558 Giverny House Water Gardens	236 Dovecote House Water Gardens
Square London	Square London
654 Pavillion House Water Gardens	Flat 10 Monkton House Wolfe Crescent
Square London	Flat 2 Saunders House Canada Street
635 Pavillion House Water Gardens	302 Eden House Water Gardens Square
Square London	London
611 Pavillion House Water Gardens	15 Wolfe Crescent London Southwark

304 Eden House Water Gardens Square London
 272 Dovecote House Water Gardens Square London
 143 Channel House Water Gardens Square London
 141 Channel House Water Gardens Square London
 131 Channel House Water Gardens Square London
 212 Dovecote House Water Gardens Square London
 Flat 3 Carleton House Wolfe Crescent
 Flat 8 James House Wolfe Crescent
 Flat 3 James House Wolfe Crescent
 Flat 11 Monkton House Wolfe Crescent
 Flat 7 Monkton House Wolfe Crescent
 24 Wolfe Crescent London Southwark
 13 Wolfe Crescent London Southwark
 10 Wolfe Crescent London Southwark
 Flat 7 Saunders House Canada Street
 Flat 4 Saunders House Canada Street
 442 Heligan House Water Gardens Square London
 343 Eden House Water Gardens Square London
 314 Eden House Water Gardens Square London
 271 Dovecote House Water Gardens Square London
 104 Channel House Water Gardens Square London
 121 Channel House Water Gardens Square London
 Flat 7 Durell House Wolfe Crescent
 Flat 1 Saunders House Canada Street
 412 Heligan House Water Gardens Square London
 231 Dovecote House Water Gardens Square London
 134 Channel House Water Gardens Square London
 3 Wolfe Crescent London Southwark
 Flat 8 Durell House Wolfe Crescent
 335 Eden House Water Gardens Square London
 332 Eden House Water Gardens Square London
 322 Eden House Water Gardens Square London
 221 Dovecote House Water Gardens Square London
 436 Heligan House Water Gardens Square London
 Flat 3 Durell House Wolfe Crescent
 Flat 2 Monkton House Wolfe Crescent
 Flat 5 Saunders House Canada Street
 453 Heligan House Water Gardens Square London
 472 Heligan House Water Gardens Square London
 421 Heligan House Water Gardens Square London
 331 Eden House Water Gardens Square London
 324 Eden House Water Gardens Square London
 303 Eden House Water Gardens Square London
 321 Eden House Water Gardens Square London
 253 Dovecote House Water Gardens Square London
 226 Dovecote House Water Gardens Square London
 213 Dovecote House Water Gardens Square London
 203 Dovecote House Water Gardens Square London
 145 Channel House Water Gardens Square London
 144 Channel House Water Gardens Square London
 126 Channel House Water Gardens Square London
 112 Channel House Water Gardens Square London
 344 Eden House Water Gardens Square London
 Flat 1 Monkton House Wolfe Crescent
 204 Dovecote House Water Gardens Square London
 100 Channel House Water Gardens Square London
 205 Dovecote House Water Gardens Square London
 152 Channel House Water Gardens Square London
 413 Heligan House Water Gardens Square London
 4 Wolfe Crescent London Southwark
 Flat 3 Gorham House Wolfe Crescent
 Flat 6 Saunders House Canada Street
 Flat 4 Amherst House Wolfe Crescent

Unit 300 Eden House Water Gardens Square
 325 Eden House Water Gardens Square London
 416 Heligan House Water Gardens Square London
 401 Heligan House Water Gardens Square London
 222 Dovecote House Water Gardens Square London
 Flat 6 James House Wolfe Crescent
 16 Wolfe Crescent London Southwark
 14 Wolfe Crescent London Southwark
 451 Heligan House Water Gardens Square London
 402 Heligan House Water Gardens Square London
 316 Eden House Water Gardens Square London
 232 Dovecote House Water Gardens Square London
 202 Dovecote House Water Gardens Square London
 263 Dovecote House Water Gardens Square London
 262 Dovecote House Water Gardens Square London
 135 Channel House Water Gardens Square London
 113 Channel House Water Gardens Square London
 111 Channel House Water Gardens Square London
 445 Heligan House Water Gardens Square London
 354 Eden House Water Gardens Square London
 Flat 5 James House Wolfe Crescent
 223 Dovecote House Water Gardens Square London
 Flat 3 Saunders House Canada Street
 Flat 6 Monkton House Wolfe Crescent
 342 Eden House Water Gardens Square London
 315 Eden House Water Gardens Square London
 251 Dovecote House Water Gardens Square London
 443 Heligan House Water Gardens Square London
 435 Heligan House Water Gardens Square London
 244 Dovecote House Water Gardens Square London
 Flat 11 James House Wolfe Crescent
 Flat 9 Durell House Wolfe Crescent
 Flat 4 Durell House Wolfe Crescent
 6 Wolfe Crescent London Southwark
 454 Heligan House Water Gardens Square London
 405 Heligan House Water Gardens Square London
 404 Heligan House Water Gardens Square London
 461 Heligan House Water Gardens Square London
 311 Eden House Water Gardens Square London
 Flat 3 Monkton House Wolfe Crescent
 313 Eden House Water Gardens Square London
 245 Dovecote House Water Gardens Square London
 Flat 4 Monkton House Wolfe Crescent
 Flat 4 James House Wolfe Crescent
 Flat 6 Amherst House Wolfe Crescent
 Flat 1 Amherst House Wolfe Crescent
 11 Wolfe Crescent London Southwark
 351 Eden House Water Gardens Square London
 264 Dovecote House Water Gardens Square London
 214 Dovecote House Water Gardens Square London
 Flat 1 Carleton House Wolfe Crescent
 Flat 10 James House Wolfe Crescent
 Flat 2 James House Wolfe Crescent
 Flat 6 Durell House Wolfe Crescent
 Flat 1 Durell House Wolfe Crescent
 Flat 2 Gorham House Wolfe Crescent
 Flat 5 Amherst House Wolfe Crescent
 Flat 3 Amherst House Wolfe Crescent
 12 Wolfe Crescent London Southwark
 5 Wolfe Crescent London Southwark
 2 Wolfe Crescent London Southwark
 441 Heligan House Water Gardens Square London
 431 Heligan House Water Gardens Square London
 353 Eden House Water Gardens Square London
 243 Dovecote House Water Gardens Square London
 235 Dovecote House Water Gardens

Square London
 225 Dovecote House Water Gardens
 Square London
 216 Dovecote House Water Gardens
 Square London
 215 Dovecote House Water Gardens
 Square London
 123 Channel House Water Gardens
 Square London
 153 Channel House Water Gardens
 Square London
 452 Heligan House Water Gardens
 Square London
 434 Heligan House Water Gardens
 Square London
 224 Dovecote House Water Gardens
 Square London
 Flat 1 James House Wolfe Crescent
 Flat 2 Durell House Wolfe Crescent
 Flat 9 Monkton House Wolfe Crescent
 Flat 7 James House Wolfe Crescent
 25 Wolfe Crescent London Southwark
 261 Dovecote House Water Gardens
 Square London
 105 Channel House Water Gardens
 Square London
 136 Channel House Water Gardens
 Square London
 345 Eden House Water Gardens Square
 London
 233 Dovecote House Water Gardens
 Square London
 7 Wolfe Crescent London Southwark
 Flat 4 Carleton House Wolfe Crescent
 Flat 8 Monkton House Wolfe Crescent
 Flat 5 Monkton House Wolfe Crescent
 26 Wolfe Crescent London Southwark
 22 Wolfe Crescent London Southwark
 20 Wolfe Crescent London Southwark
 9 Wolfe Crescent London Southwark
 432 Heligan House Water Gardens
 Square London
 425 Heligan House Water Gardens
 Square London
 422 Heligan House Water Gardens
 Square London
 415 Heligan House Water Gardens
 Square London
 414 Heligan House Water Gardens
 Square London
 462 Heligan House Water Gardens
 Square London
 346 Eden House Water Gardens Square
 London
 323 Eden House Water Gardens Square
 London
 305 Eden House Water Gardens Square
 London
 336 Eden House Water Gardens Square
 London
 252 Dovecote House Water Gardens
 Square London
 242 Dovecote House Water Gardens
 Square London
 211 Dovecote House Water Gardens
 Square London
 201 Dovecote House Water Gardens
 Square London
 125 Channel House Water Gardens
 Square London
 102 Channel House Water Gardens
 Square London
 154 Channel House Water Gardens
 Square London
 101 Channel House Water Gardens
 Square London
 122 Channel House Water Gardens
 Square London
 326 Eden House Water Gardens Square
 London
 103A Channel House Water Gardens
 Square London
 8 Wolfe Crescent London Southwark
 Flat 5 Durell House Wolfe Crescent
 Flat 1 Gorham House Wolfe Crescent
 Flat 9 James House Wolfe Crescent
 18 Wolfe Crescent London Southwark
 103B Channel House Water Gardens
 Square London
 301 Eden House Water Gardens Square
 London
 146 Channel House Water Gardens
 Square London
 116 Channel House Water Gardens
 Square London
 446 Heligan House Water Gardens
 Square London
 433 Heligan House Water Gardens
 Square London
 411 Heligan House Water Gardens
 Square London
 403 Heligan House Water Gardens
 Square London
 471 Heligan House Water Gardens

Square London
 241 Dovecote House Water Gardens
 Square London
 Flat 4 Gorham House Wolfe Crescent
 27 Wolfe Crescent London Southwark
 23 Wolfe Crescent London Southwark
 1 Wolfe Crescent London Southwark
 444 Heligan House Water Gardens
 Square London
 362 Eden House Water Gardens Square
 London
 361 Eden House Water Gardens Square
 London
 246 Dovecote House Water Gardens
 Square London
 132 Channel House Water Gardens
 Square London
 115 Channel House Water Gardens
 Square London
 162 Channel House Water Gardens
 Square London
 151 Channel House Water Gardens
 Square London
 19 Wolfe Crescent London Southwark
 423 Heligan House Water Gardens
 Square London
 464 Heligan House Water Gardens
 Square London
 17 Wolfe Crescent London Southwark
 Flat 2 Carleton House Wolfe Crescent
 21 Wolfe Crescent London Southwark
 312 Eden House Water Gardens Square
 London
 254 Dovecote House Water Gardens
 Square London
 133 Channel House Water Gardens
 Square London
 124 Channel House Water Gardens
 Square London
 114 Channel House Water Gardens
 Square London
 161 Channel House Water Gardens
 Square London
 426 Heligan House Water Gardens
 Square London
 463 Heligan House Water Gardens
 Square London
 Flat 2 Amherst House Wolfe Crescent
 424 Heligan House Water Gardens
 Square London
 341 Eden House Water Gardens Square
 London

334 Eden House Water Gardens Square
 London
 333 Eden House Water Gardens Square
 London
 352 Eden House Water Gardens Square
 London
 234 Dovecote House Water Gardens
 Square London
 142 Channel House Water Gardens
 Square London

Consultation responses received

Internal services

LBS Community Infrastructure Levy Team
LBS Design & Conservation Team [Formal]
LBS Local Economy
LBS Ecology
LBS Environmental Protection
LBS Highways Development & Management
LBS Transport Policy
LBS Urban Forester
LBS Community Infrastructure Levy Team
formal consultation and response to Pol

Statutory and non-statutory organisations

Environment Agency
Historic England
Metropolitan Police Service (Designing O
Transport for London
Thames Water

Neighbour and local groups consulted:

17 Wolfe Crescent London SE16 6SF
572 Giverny House Water Gardens
Square London
York House 45 Seymour St London
573 Giverny House Water Gardens
Square London
70 Cowcross Street London EC1M 6EJ
26 Wolfe Crescent, LONDON SE16 6SF
london SE16 6SF
17 Wolfe Crescent London SE16 6SF
York House, 45 Seymour Street London
1 Red Place Mayfair W1K 6PL London
York House, 45 Seymour Street, London
W1H 7LX
Giverny House Flat 572 London

